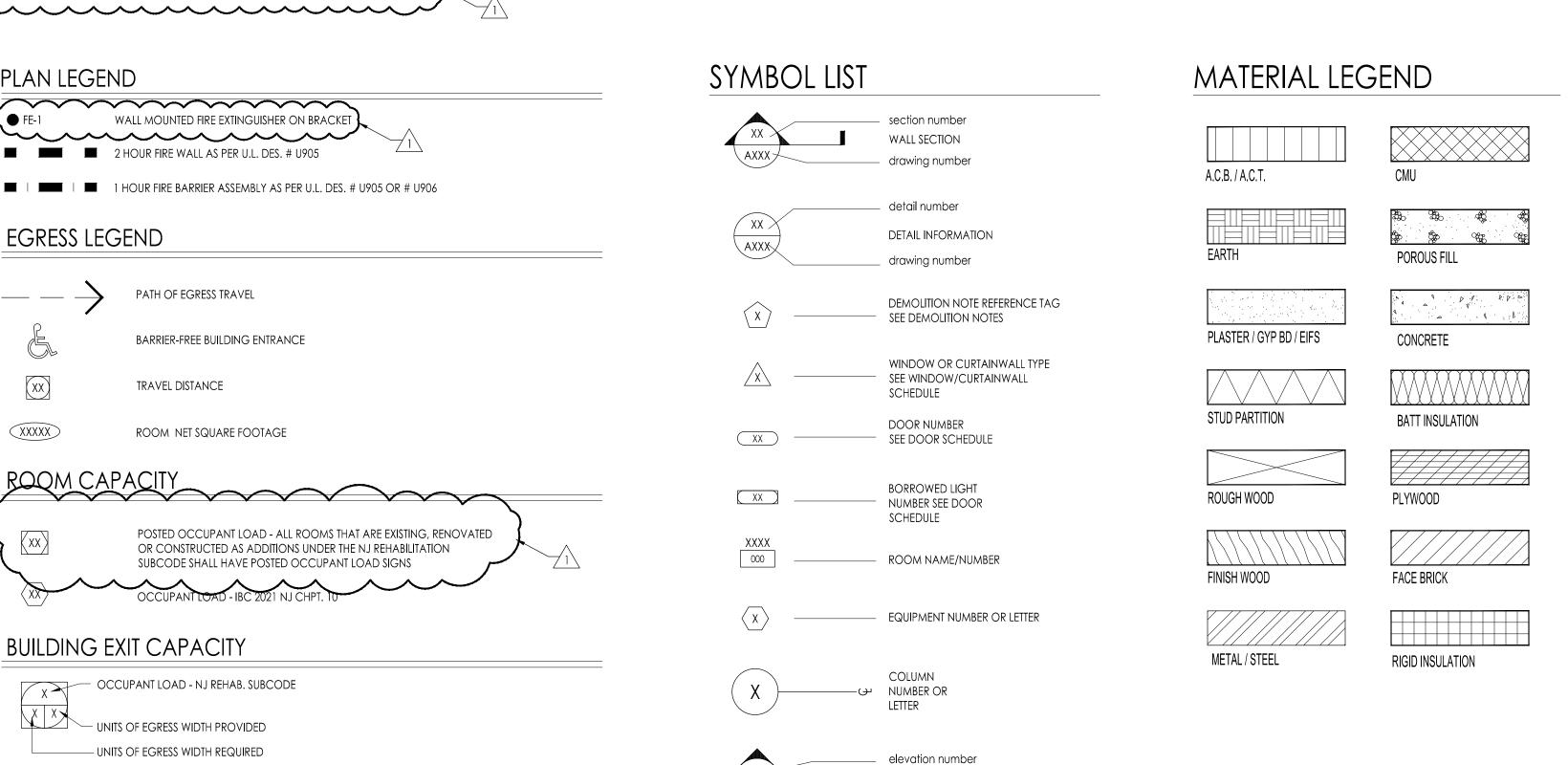


GENERAL NOTES DRAWING INDEX 1. ALL CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING A BID. DISCREPANCIES OR OMISSIONS MUST BE REPORTED TO THE GENERAL ARCHITECT IN WRITING (10) DAYS PRIOR TO BID OPENING. IF HE OR SHE DOES NOT, CONTRACTOR SHALL CORRECT SAME AT NO CHANGE IN CONTRACT PRICE. TITLE SHEET 2. CONTRACTOR SHALL PROVIDE ALL REQUIRED SAFETY PROTECTION DURING GENERAL NOTES, DRAWING INDEX, AND ABBREVIATION INDEX CONSTRUCTION. 3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE A SUFFICIENT WORK FORCE ARCHITECTURAL TO MEET COMPLETION DATES AS OUTLINED IN THE SPECIFICATIONS. NO EXCEPTIONS WILL BE ALLOWED. EGRESS PLAN 4. DO NOT SCALE THE DRAWINGS. DEMOLITION, FLOOR, & REFLECTED CEILING PLANS; WALL PARTITION TYPES AND NOTES 5. DETAILS NOTED "TYPICAL" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY. ROOF PLAN, DETAILS, AND NOTES 6. MATERIALS LISTED ON THE FINISH SCHEDULE REFER TO THE MAJORITY OF WALLS, FLOOR WALL SECTIONS AND MISCELLANEOUS DETAILS AND CEILING OF ROOMS SCHEDULED, REFER TO PLANS, DETAILS, INTERIOR ELEVATION, CEILING PLANS, AND NOTES FOR THOSE MATERIALS NOT INDICATED ON THE SCHEDULE ENLARGED ROOM LAYOUT BUT ARE STILL REQUIRED IN THE ROOM. A601 DOOR & FRAME DETAILS, SCHEDULES, NOTES AND PLAN DETAILS 7. UNLESS OTHERWISE NOTED AND UNLESS FACTORY FINISHED, ALL EXPOSED SURFACES OF FLOOR PATTERN LAYOUTS CMU, CONCRETE, PLASTER, WOOD, GYPSUM BOARD, HOLLOW METAL, HARDWOODS, MECHANICAL MISC. METALS ETC., ARE TO RECEIVE PRIME AND FINISH COATS OF PAINT OR CLEAR FINISH AS SPECIFIED AND IN COLORS AS SELECTED BY ARCHITECT. EXCLUDED FROM THIS HVAC SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES HVAC FIRST FLOOR DEMOLITION PLAN 8. ALL OUTSIDE CORNERS OF INTERIOR CONCRETE MASONRY UNITS (CMU) ARE TO BE BULLNOSED UNLESS NOTED OTHERWISE. HVAC ROOF DEMOLITION PLAN HVAC FIRST FLOOR NEW WORK PLAN 9. CALL BEFORE YOU DIG. BEFORE DIGGING CONTRACTOR SHALL CALL 1-800-242-1776 TO HAVE UTILITIES IDENTIFY UNDERGROUND LOCATION OF ALL SERVICE LINES. HVAC ROOF NEW WORK PLAN 10. ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE HVAC DETAILS & SCHEDULES WITH ALL APPLICABLE STATE AND LOCAL CODES AND IN AGREEMENT WITH ALL HVAC CHILLED WATER / HOT WATER DIAGRAMS AGENCIES HAVING JURISDICTION. 11. THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL PERMITS, TO OBTAIN APPROVALS AS ELECTRICAL REQUIRED AND COORDINATE INSPECTION WITH LOCAL BUILDING INSPECTOR. ALL PERMIT AND APPLICATION FEES WILL BE PAID BY THE OWNER AND DELIVERED BY THE CONTRACTOR. ELECTRICAL SYMBOL LEGEND 12. DRAWINGS AND SPECIFICATIONS COMPLEMENT EACH OTHER. WORK NOT SHOWN ON LIGHTING AND POWER REMOVAL WORK DRAWING BUT CALLED FOR IN THE SPECIFICATIONS IS STILL REQUIRED, AND ALL WORK LIGHTING AND POWER NEW WORK NOT CALLED FOR IN SPECIFICATIONS, BUT CALLED OUT OR SHOWN IN DRAWINGS IS STILL REQUIRED. STEM LAB ROOF POWER AND FIRE ALARM NEW WORK ELECTRICAL DETAILS 13. THE OWNER WILL REMOVE AND RE-INSTALL ALL MOVEABLE EQUIPMENT. EACH CONTRACTOR IS RESPONSIBLE TO REMOVE, STORE AND RE-INSTALL EXISTING BUILT-IN

PLUMBING

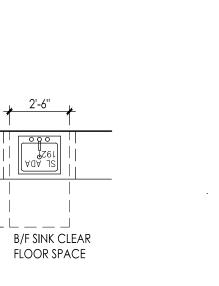


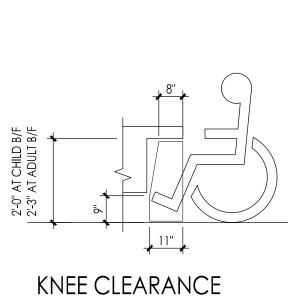
PLUMBING SYMBOLS, ABBREVIATIONS, & GENERAL NOTES

PLUMBING FIRST FLOOR DEMOLITION PLAN

PLUMBING DETAILS, DIAGRAMS, & SCHEDULES

PLUMBING FIRST FLOOR NEW WORK PLAN





EQUIPMENT REQUIRED TO PERFORM THEIR WORK UNLESS NOTED OTHERWISE.

14. IN ACCORDANCE WITH NJAC 5:23-6.6(i), ALL MATERIALS AND METHODS USED SHALL

METHODS.

PLAN LEGEND

EGRESS LEGEND

COMPLY WITH THE REQUIREMENTS SPECIFIED IN N.J.A.C. 5:23-6.8, MATERIALS AND

15. WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE,

AND/OR SMOKE PROTECTED ASSEMBLY MARKING DETAIL. REFER TO G003 FOR DETAIL.

DOOR SHALL REMAIN IN PLACE AND INACCESSIBLE DURING CONSTRUCTION.

6. CONSTRUCTION AREA IS LIMITED TO WORK AREA SHOWN ON SHEET A 101.

PATH OF EGRESS TRAVEL

TRAVEL DISTANCE

BUILDING EXIT CAPACITY

OCCUPANT LOAD - NJ REHAB. SUBCODE

—— UNITS OF EGRESS WIDTH REQUIRED

OCCUPANT LOAD - IBC 2021 NJ CHPT. 10

NET CLEAR EGRESS WIDTH PROVIDED (IN INCHES)

———— NET CLEAR EGRESS WIDTH REQUIRED (IN INCHES)

UNITS OF EGRESS WIDTH PROVIDED

2 HOUR FIRE WALL AS PER U.L. DES. # U905

FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS

SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED IN ACCORDANCE WITH THE FIRE

CONSTRUCTION WORK IS LIMITED TO REAR DOOR OF WORK AREA ONLY. CORRIDOR

WALL MOUNTED FIRE EXTINGUISHER ON BRACKET

■ | ■ 1 HOUR FIRE BARRIER ASSEMBLY AS PER U.L. DES. # U905 OR # U906

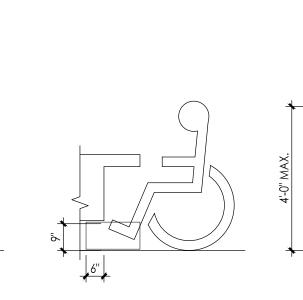
BARRIER-FREE BUILDING ENTRANCE

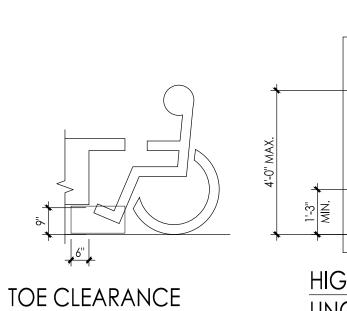
ROOM NET SQUARE FOOTAGE

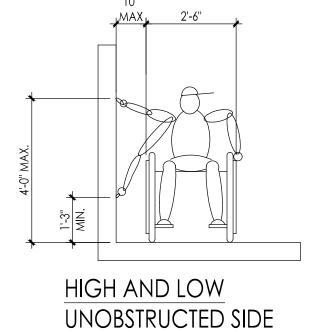
OR CONSTRUCTED AS ADDITIONS UNDER THE NJ REHABILITATION

SUBCODE SHALL HAVE POSTED OCCUPANT LOAD SIGNS

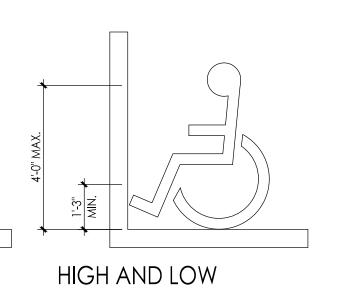
OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS







REACH LIMITS

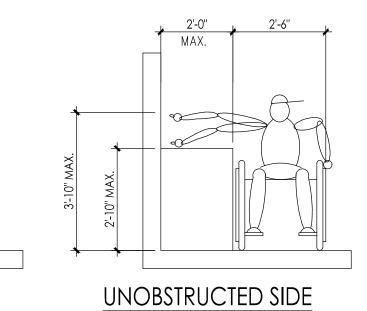


UNOBSTRUCTED

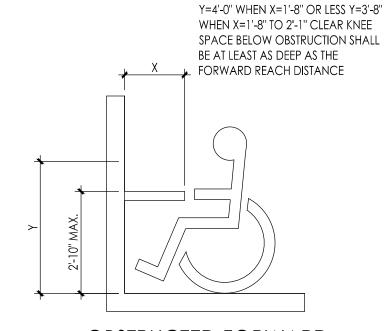
FORWARD REACH LIMITS

INTERIOR ELEVATION

drawing number



REACH LIMITS



REACH LIMITS

OBSTRUCTED FORWARD

Drawing Number

No. Date Description

10.20.23 ADDENDUM 1

G002

STEM Lab Alterations

Clearview Regional

Clearview Regional

High School District

595 Jefferson Rd,

Mullica Hill, NJ

& Renovations at

Middle School

Project Owner Name

Project Location

08062

Project Number

5162C

Project Date

Checked By

Drawn By

AS NOTED

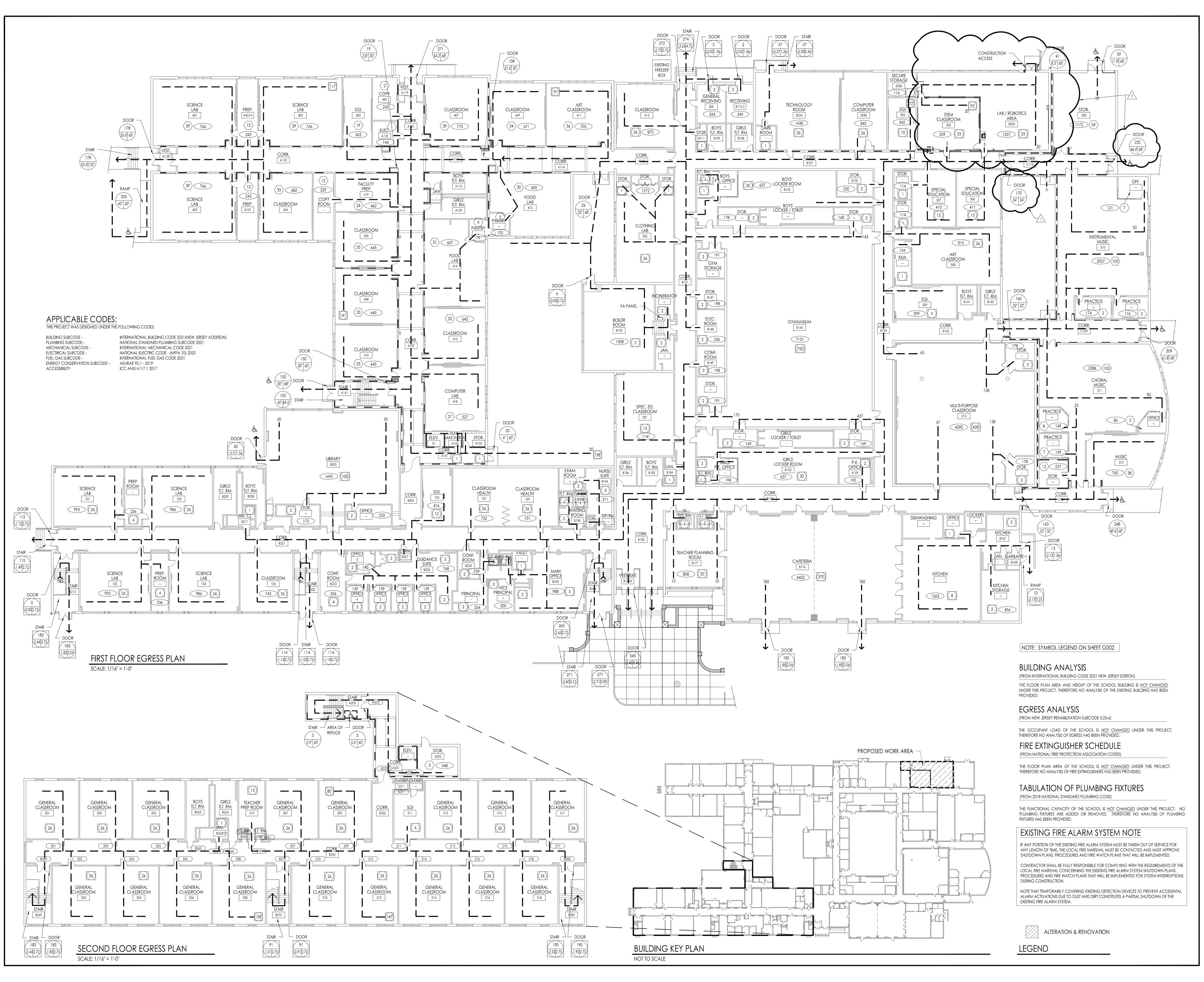
Drawing Name

GENERAL NOTES,

DRAWING INDEX, AND

ABBREVIATION LIST

10/11/2023



GEORGE R. DUTHIE JR., AIA, PP
NJ-21AI01299200
JASON J. DUBOWITCH, AIA
NJ-21AI01979800 I PA - RA406009

Activate the Date
Date

Fraytak Veisz Hopkins Duthie P C
Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19453

Clearview Regional
Middle School

STEM Lab Alterations

& Renovations at

Clearview Regional
High School District

Project Location

595 Jefferson Rd,
Mullica Hill, NJ
08062

Project Number
5162C
Project Date
10/11/2023

Checked By

GRD

Drawn By

JMK/SB
Scale

AS NOTED

Drawing Name

EGRESS PLAN

Revisions

No. Date Description

10.20.23 ADDENDUM 1

GENERAL NOTES ON DEMOLITION: THESE NOTES SHALL APPLY TO ALL DEMOLITION WORK THROUGHOUT THE PROJECT. A. ALL CONTRACTORS ARE ADVISED TO VISIT THE SITE AND VERIFY ALL AREAS AND CONDITIONS PRIOR TO SUBMITTING THEIR BIDS. THE CONTRACTOR MUST NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR OMISSIONS IN WRITING AT LEAST SEVEN DAYS PRIOR TO THE RECEIPT OF BIDS. FAILURE TO SO NOTIFY THE ARCHITECT INDICATES THAT ANY ADDITIONAL COSTS ASSOCIATED WITH THE DISCREPANCIES AND / OR OMISSIONS ARE INCLUDED IN THE CONTRACTOR'S BID AND THAT NO CHANGE TO THE CONTRACT AMOUNT WILL BE MADE AFTER THE RECEIPT OF BIDS OR THE AWARD OF CONTRACTS. ALL PLUMBING, MECHANICAL OR ELECTRICAL DISCONNECTS SHALL BE MADE BY THE RESPECTIVE TRADES. ALL EQUIPMENT, DEVICES, FIXTURES, ETC. SHALL BE REMOVED FROM THE SITE BY THE RESPECTIVE CONTRACTOR. NOTE: THE EXISTING FIRE ALARM SYSTEM SHALL NOT BE DIMINISHED NOR SHALL EXISTING FIRE ALARM DEVICES BE REMOVED UNTIL NEW DEVICES ARE READY FOR SWITCHOVER. UNLESS NOTED OTHERWISE ALL DEMOLITION MATERIAL SHALL BE REMOVED OFF SITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THERE ARE SOME SPECIFIC ITEMS DESIGNATED BY THE ARCHITECT FOR SALVAGE. THESE ITEMS ARE INTENDED FOR REUSE IN THE NEW NEW CONSTRUCTION.

- CONSTRUCTION. THE CONTRACTOR MUST TAKE CARE IN THE REMOVAL AND STORAGE OF THESE ITEMS UNTIL THEY ARE NEEDED IN THE
- E. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROTECT PORTIONS OF THE EXISTING CONSTRUCTION WHICH ARE ADJACENT TO AREAS TO BE DEMOLISHED. MAKE ALL CUTS AS NEATLY AS POSSIBLE. REFER TO FLOOR PLAN DRAWINGS FOR FINISHING OF THESE
- IF NOT OTHERWISE NOTED OR DETAILED, ALL SURFACES LEFT ROUGH OR UNFINISHED BY DEMOLITION AND WHICH ARE EXPOSED TO VIEW, SHALL BE PATCHED TO MATCH ADJACENT SURFACES AND FINISHED TO PROVIDE A UNIFORM APPEARANCE WITH REGARD TO SIZE, SHAPE, COLOR, TEXTURE AND MATERIAL.
- THE CONTRACTOR SHALL PROVIDE A PHYSICAL BARRIER TO CONTAIN DUST AND DIRT AROUND THE DEMOLITION AREA AND SHALL MAKE EVERY EFFORT TO KEEP THE DEMOLITION SITE AND SURROUNDING AREAS AS CLEAN AS POSSIBLE. ALL TEMPORARY PARTITIONS SHALL BE 1 HOUR RATED CONSTRUCTION AND INCLUDE A DOOR.
- NO DEMOLITION SHALL BEGIN UNTIL PROPER PROTECTION IS IN PLACE AND APPROVED BY ARCHITECT & OWNER TO ENSURE THE SAFETY OF THE
- PUBLIC, THE BUILDING OCCUPANTS, CONSTRUCTION WORKERS AND TO CONTAIN DUST AND DIRT WITHIN THE AREA OF DEMOLITION. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS REGARDING THE REMOVAL AND DISPOSAL OF ALL MATERIALS &
- THE CONTRACTOR SHALL PROVIDE PROTECTION AGAINST INCLEMENT WEATHER FOR THE EXISTING BUILDING DURING THE INTERIM PERIOD BETWEEN
- DEMOLITION AND THE COMPLETION OF NEW CONSTRUCTION. THE CONTRACTORS SHALL TAKE INTO ACCOUNT THEIR METHODS OF CONSTRUCTION FOR THE NEW WORK AND INCLUDE IN THEIR BID THE COST OF ADDITIONAL DEMOLITION WORK NECESSARY TO FACILITATE THE CONSTRUCTION. THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE AREA AROUND

JOINTS BETWEEN NEW AND EXISTING CONSTRUCTION IN WALLS, FLOORS AND CEILINGS, AREAS OF SIDEWALK AND PAVING, ETC. MUCH OF THIS

- THE DEMOLITION WORK SHOWN ON THIS PLAN IS INTENDED TO BE A GENERAL OVERVIEW OF MAJOR DEMOLITION WORK REQUIRED. IT IS NOT A COMPLETE AND EXCLUSIVE REPRESENTATION OF ALL DEMOLITION WORK NEEDED FOR EXECUTION OF THE PROJECT. WHEN PREPARING THEIR BIDS, CONTRACTORS MUST REFER TO THE FULL SET OF CONSTRUCTION DOCUMENTS FOR VARIOUS MISCELLANEOUS ITEMS WHICH MUST BE REMOVED AND/OR RELOCATED AS PART OF THE WORK.
- M. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN CUTTING AND PATCHING SEE SPECIFICATION.

WORK IS INDICATED IN SECTIONS AND DETAILS RELATING TO THE NEW CONSTRUCTION.

- N. THE OWNER HAS THE RIGHT OF FIRST REFUSAL FOR ALL EQUIPMENT AND FIXTURES (CABINETS, SHELVING, ETC.) REMOVED UNDER CONTRACT. IF THE OWNER DOES NOT EXERCISE THIS RIGHT FOR AN INDIVIDUAL PIECE OF EQUIPMENT, THE GENERAL CONTRACTOR SHALL REMOVE SAID EQUIPMENT
- O. GENERAL CONTRACTOR TO RE-CAULK SEALANT AT ALL SOFT GAPS AT EXISTING COLUMNS AND MASONRY WALLS.

DEMOLITION / RENOVATION NOTES:

SEE GENERAL NOTES ON DEMOLITION ON THIS DRAWING. SYMBOL REFERENCE ON DEMOLITION PLAN - $\left\langle \ \ \ \ \right\rangle$

GENERAL NOTE: THE OWNER HAS THE RIGHT OF FIRST REFUSAL FOR ALL EQUIPMENT AND FIXTURES (CABINETS, SHELVING, PLUMBING FIXTURES, ETC.) REMOVED UNDER CONTRACT. IF THE OWNER DOES NOT EXERCISE THIS RIGHT FOR AN INDIVIDUAL PIECE OF EQUIPMENT, THE CONTRACTOR SHALL REMOVE SAID EQUIPMENT FROM THE SITE.

EXTERIOR SITE / BUILDING

- REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY. BRACE AND SHORE UP EXISTING CONSTRUCTION TO REMAIN ABOVE OPENING. SAWCUT AND REMOVE EXISTING WALL CONSTRUCTION TO WIDTH AND HEIGHT AS INDICATED ON DEMOLITION PLAN AND TO FIRST MASONRY COURSE ABOVE 8'-0" ABOVE FLOOR. INFILL OPENING WITH NEW ALUMINUM FRAME AND DOOR AND WALL CONSTRUCTION TO MATCH EXISTING AND LINTEL OF THICKNESS TO MATCH EXISTING ADJACENT WALL. SEE FLOOR PLAN AND WALL SECTION. TOOTH-IN NEW BRICK AND CMU INTO EXISTING WALL PATTERN. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO ENSURE BUILDING SECURITY AND WEATHERTIGHTNESS. FINISH ALL NEWLY EXPOSED SURFACES AND PATCH AND REPAIR ALL DAMAGE CAUSED BY RENOVATION TO MATCH EXISTING ADJACENT FINISH, INCLUDING TILE, PLASTER, ETC. SEE DOOR SCHEDULE AND DETAILS FOR ADDITIONAL INFORMATION.
- DEMOLISH EXISTING CONCRETE PAD, AND STEP IN ITS ENTIRETY. INSTALL NEW CONCRETE PAD AS SHOWN IN DETAIL 1/A301. MAINTAIN EXISTING FOOTING OF ADJACENT CURB AND BUILDING. PATCH AND REPAIR ALL DAMAGE CAUSED BY DEMOLITION TO MATCH EXISTING ADJACENT FINISH.
- . NOT USED

WALLS

- REMOVE EXISTING DOOR AND ASSOCIATED HARDWARE. PATCH, FILL, CLEAN, PRIME, AND PAINT EXISTING FRAME ON BOTH SIDES, ANY ADJACENT WALL SURFACE DAMAGED DURING DEMOLITION IS TO BE RESTORED TO A UNIFORM, FLUSH, CONTINUOUS SURFACE TO RECEIVE NEW FINISHES. SEE ROOM FINISH SCHEDULE. INSTALL NEW DOOR AND HARDWARE. SEE DOOR AND FRAME SCHEDULE.
- BRACE AND SHORE UP EXISTING CONSTRUCTION TO REMAIN ABOVE OPENING. SAWCUT AND REMOVE EXISTING WALL CONSTRUCTION TO WIDTH INDICATED ON DEMOLITION PLAN AND TO FIRST MASONRY COURSE 8" ABOVE NEW DOOR HEAD HEIGHT. INFILL OPENING WITH NEW DOOR AND FRAME CONSTRUCTION AND LINTEL OF THICKNESS TO MATCH EXISTING ADJACENT WALL, NEW CMU SHALL BE TOOTHED INTO EXISTING ADJACENT CMU. CONSTRUCT WITH 1 HOUR RATED CONSTRUCTION (UL DES U905 OR U906) AT ALL CORRIDOR WALLS. SEE FLOOR PLAN AND DOOR SCHEDULE. FINISH ALL NEWLY EXPOSED SURFACES AND PATCH AND REPAIR ALL DAMAGE CAUSED BY RENOVATION TO MATCH EXISTING ADJACENT FINISH, INCLUDING BRICK, TILE, BASE, ETC. UNLESS SHOWN OTHERWISE ON PLANS.
- REMOVE METAL PANELS FROM FACE OF CMU WALL IN THEIR ENTIRETY. INFILL OPENING IN EXISTING WALL THAT IS NEWLY EXPOSED WITH MATCHING MATERIAL. PATCH ALL ADJACENT SURFACE DAMAGES CAUSED BY DEMOLITION TO MATCH NEW ADJACENT WALL SURFACES.
- FILL ALL HOLES IN THE EXISTING WALLS INCLUDING BUT NOT LIMITED TO THOSE THAT WILL BE EXPOSED AT COMPLETION, BEFORE PREPPING THE SURFACE FOR NEW FINISH.
- REMOVE EXISTING SIGNAGE TAG. PATCH AND REPAIR ANY DAMAGE CAUSED BY REMOVAL. PREPARE SURFACE TO RECEIVE REPLACEMENT OR NEW FINISH TO MATCH SURROUNDING.
- REMOVE RESIDUAL ADHESIVE FROM WALLS AND PATCH TO MATCH SURROUNDING SURFACE PRIOR TO APPLYING NEW FINISH, SEE ROOM FINISH
- . INFILL RATED WALL, INCLUDING BUT NOT LIMITED TO WHERE A HOLE, OPENING, FORMER THRU-WALL CONDUIT ETC. OCCURS WITH MATERIALS TO

MAINTAIN WALL RATING. PATCH AND PREPARE SURFACE FOR NEW FINISH, SEE ROOM FINISH SCHEDULE.

- PREPARE EXISTING PAINTED CONCRETE FLOOR AS REQUIRED BY NEW FLOORING MANUFACTURER. REFER TO ROOM FINISH SCHEDULE FOR NEW
- 2. FLOOR MOUNTED ELECTRICAL "DOGHOUSES" AND FLUSH FLOOR BOXES TO BE REMOVED IN THEIR ENTIRETY. INFILL OPENINGS IN FLOOR WITH CONCRETE FLUSH WITH ADJACENT SURFACES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 13. NOT USED

EQUIPMENT

- . EXISTING METAL SHELVING UNITS TO BE REMOVED BY OWNER PRIOR TO START OF CONSTRUCTION. REMOVE ALL WALL MOUNTED DEVICES INCLUDING BUT NOT LIMITED TO GOGGLE CABINET, SOAP AND TOWEL DISPENSERS, TACKSTRIPS, ETC. SEE GENERAL NOTE. PATCH, PLUG AND FILL ALL OPENINGS IN AREA OF WORK INCLUDING ADJACENT SURFACE TO RESTORE TO A UNIFORM, FLUSH, CONTINUOUS SURFACE TO RECEIVE NEW FINISHES. SEE ROOM FINISH SCHEDULE.
- REMOVE EXISTING WALL MOUNTED PROJECTOR AND SPEAKERS IN THEIR ENTIRETY. PATCH ALL DAMAGED CAUSED BY DEMOLITION TO MATCH ADJACENT SURFACES. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE AND STORE EXISTING INTERACTIVE DRY MARKER BOARDS AND ALL APPURTENANCES. RELOCATE PER OWNER'S DISCRETION. PATCH AND REPAIR ANY HOLES LEFT BEHIND FROM INSTALLATION, PREP FOR NEW FINISH. SEE ROOM FINISH SCHEDULE.
- REMOVE "BRAKE-PAC" EQUIPMENT FROM WALL AND HAND OVER TO OWNER. PATCH, REPAIR ANY HOLES LEFT BEHIND FROM INSTALLATION, PREP FOR NEW FINISH. SEE ROOM FINISH SCHEDULE.
- REMOVE EXISTING CHALKBOARDS, EXHIBITION BOARDS AND MIRRORS IN THEIR ENTIRETY. IF WALL IS TO REMAIN, PATCH SUBSTRATE UP TO A MAXIMUM DEPTH OF 4" BEHIND REMOVED ITEMS TO PROVIDE A UNIFORM, FLUSH, CONTINUOUS SURFACE TO RECEIVE NEW FINISHES. SEE ROOM FINISH SCHEDULE. WHERE EXISTING BOARDS ARE RECESSED IN WALL FACE, INSTALL NEW SUPPORT BLOCKING TO SUPPORT NEW BOARDS INSTALLED OVER RECESS. PATCH AND REPAIR ALL DAMAGE CAUSED BY RENOVATION. MATCH TO EXISTING ADJACENT FINISH.
- . REMOVE ALL EXISTING FIRE EXTINGUISHERS AND BRACKETS AND HAND OVER TO OWNER.
- . REMOVE BELL, SPEAKER HORN AND ANALOG CLOCK FROM WALL. PATCH AND FILL OPENINGS FROM REMOVAL. PREP SURFACES TO RECEIVE NEW FINISHES, SEE ROOM FINISH SCHEDULE. HAND OVER ALL REMOVED EQUIPMENT TO OWNER. SEE RESPECTIVE MEP'S DRAWINGS FOR ADDITIONAL REMOVAL INFORMATION.

. NOT USED ELECTRICAL

22. RE-ESTABLISH NEW LOCATION OF FIRE-ALARM PULL STATION ACCORDING TO MEP'S NEW WORK PLAN ON RESPECTIVE DRAWINGS. AND RELOCATE EXISTING FIRE STROBES AT A HIGHER ELEVATION ON WALL OR IN DIFFERENT LOCATION ACCORDING TO MEP'S RESPECTIVE DRAWINGS. SEE

MISCELLANEOUS

23. SEE MEP DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.

CONSTITUTES A PARTIAL SHUTDOWN OF THE EXISTING FIRE ALARM SYSTEM.

EXISTING FIRE ALARM SYSTEM NOTE

"EXISTING FIRE ALARM SYSTEM NOTE".

IF ANY PORTION OF THE EXISTING FIRE ALARM SYSTEM MUST BE TAKEN OUT OF SERVICE FOR ANY LENGTH OF TIME, THE LOCAL FIRE MARSHAL MUST BE CONTACTED AND MUST APPROVE SHUTDOWN PLANS, PROCEDURES AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE LOCAL FIRE MARSHAL CONCERNING THE EXISTING FIRE ALARM SYSTEM SHUTDOWN PLANS, PROCEDURES AND FIRE WATCH PLANS THAT WILL BE IMPLEMENTED FOR SYSTEM INTERRUPTIONS DURING CONSTRUCTION.

NOTE THAT TEMPORARILY COVERING EXISTING DETECTION DEVICES TO PREVENT ACCIDENTAL ALARM ACTIVATIONS DUE TO DUST AND DIRT

THESE NOTES SHALL APPLY TO ALL WORK THROUGHOUT THE PROJECT

GENERAL CONSTRUCTION NOTES:

- A. ALL CONTRACTORS SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE SUBMITTING A BID. DISCREPANCIES OR OMISSIONS MU\$T BE REPORTED TO THE ARCHITECT IN WRITING (15) DAYS PRIOR TO BID OPENING. IF HE OR SHE DOES NOT, CONTRACTOR SHALL CORRECT SAME 🔪
- AT NO CHANGE IN CONTRACT PRICE.
- 3. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL REQUIRED SAFETY PROTECTION DURING CONSTRUCTION. C. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A SUFFICIENT WORK FORCE TO MEET COMPLETION DATES AS OUTLINED IN THE
- SPECIFICATIONS. NO EXCEPTIONS WILL BE ALLOWED.
- D. CONTRACTOR SHALL PROVIDE ALL REQUIRED SAFETY PROTECTION DURING CONSTRUCTION.
- E. DO NOT SCALE THE DRAWINGS.
- F. DETAILS NOTED "TYPICAL" IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.
- G. ALL WORK PERTAINING TO THESE DRAWINGS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND IN AGREEMENT WITH ALL AGENCIES HAVING JURISDICTION.
- H. THE CONTRACTOR IS RESPONSIBLE TO SECURE ALL PERMITS, TO OBTAIN APPROVALS AS REQUIRED AND COORDINATE INSPECTION WITH LOCAL. BUILDING INSPECTOR. ALL PERMIT AND APPLICATION FEES WILL BE PAID BY THE OWNER AND DELIVERED BY THE CONTRACTOR.
- DRAWINGS AND SPECIFICATIONS COMPLEMENT EACH OTHER. WORK NOT SHOWN ON DRAWING BUT CALLED FOR IN THE SPECIFICATIONS IS STILL REQUIRED. AND ALL WORK NOT CALLED FOR IN SPECIFICATIONS, BUT CALLED OUT OR SHOWN IN DRAWINGS IS STILL REQUIRED.
- J. UNLESS OTHERWISE NOTED AND UNLESS FACTORY FINISHED, ALL EXPOSED SURFACES OF CMU, CONCRETE, PLASTER, WOOD, GYPSUM BOARD, HOLLOW METAL, HARDWOODS, MISCELLANEOUS METALS ETC., ARE TO RECEIVE PRIME AND FINISH COATS OF PAINT OR CLEAR FINISH AS SPECIFIED AND IN COLORS AS SELECTED BY ARCHITECT. EXCLUDED FROM THIS IS BRICK.
- K. MATERIALS LISTED ON THE ROOM FINISH SCHEDULE REFER TO THE MAJORITY OF WALLS, FLOOR AND CEILING OF ROOMS SCHEDULED. REFER T PLANS, DETAILS, INTERIOR ELEVATIONS, CEILING PLANS AND NOTES FOR MATERIALS NOT INDICATED ON THE SCHEDULE BUT ARE STILL REQUIRED
- THE OWNER WILL REMOVE AND RE-INSTALL ALL MOVEABLE EQUIPMENT. EACH CONTRACTOR IS RESPONSIBLE TO REMOVE, STORE AND RE-INSTALL EXISTING BUILT-IN EQUIPMENT REQUIRED TO PERFORM THEIR WORK UNLESS NOTED OTHERWISE
- M. CALL BEFORE YOU DIG. BEFORE DIGGING CONTRACTOR SHALL CALL 1-800-242-1776 TO HAVE UTILITIES IDENTIFY UNDERGROUND LOCATION O ALL SERVICE LINES.
- N. ALL OUTSIDE CORNERS OF INTERIOR CONCRETE MASONRY UNITS (CMU) ARE TO BE BULLNOSED UNLESS NOTED OTHERWISE. O. ALL BLOCKING FOR THE PROJECT SHALL BE FIRE RETARDANT TREATED WOOD BLOCKING, UNLESS OTHERWISE NOTED.



- ADDITIONAL INFORMATION ON CEILING-MOUNTED DEVICES. 2. ALL DIFFUSERS, DEVICES AND LIGHTS ARE SHOWN IN THE ACB CEILING UNLESS
- NOTED OTHERWISE 3. GENERAL, HVAC, PLUMBING AND ELECTRICAL CONTRACTORS TO COORDINATE
- LOCATION OF DIFFUSERS, DEVICES AND LIGHTS.
- 4. FOR CEILING HEIGHTS SEE REFLECTED CEILING PLAN.

REFLECTED CEILING CONSTRUCTION NOTES:

SYMBOL REFERENCE ON CEILING PLAN - (χ)

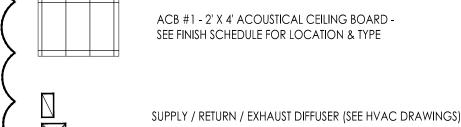
FIXTURES

- LOCATION OF SHADE POCKETS FOR THE ELECTRICAL ROLLER SHADE. THE GRID TRIM WILL MOLD AROUND THE POCKETS WHERE APPLICABLE. SEE DETAIL A/A601 FOR ADDITIONAL DETAIL FOR PLACEMENT OF SHADE POCKET.
- 2. SECTION OF CEILING GRID TO SLOPE UP 45° TOWARDS THE EXTERIOR WINDOWS. SEE SECTION DETAIL 3/A301.
- 3. ROOF METAL DUCT FOR NEW SPRAY BOOTH DISCHARGE TO BE CENTERED IN PANEL. REFER TO ROOF PLAN FOR VENTILATION DETAIL THROUGH EXISTING ROOF
- 4. TYPICAL PVC VENT PIPE TO VENT FLAMMABLE STORAGE UNIT. SEE DETAILS ON ROOF PLAN SHEET A103 FOR ROOF PENETRATION.

DECK AND SEE SPEC. AND MEP DRAWINGS FOR MORE DETAILS.

EXISTING FRAMES TO REMAIN FOR SUPPORTING NEW LED PENDANT LIGHT

REFLECTED CEILING PLAN LEGEND

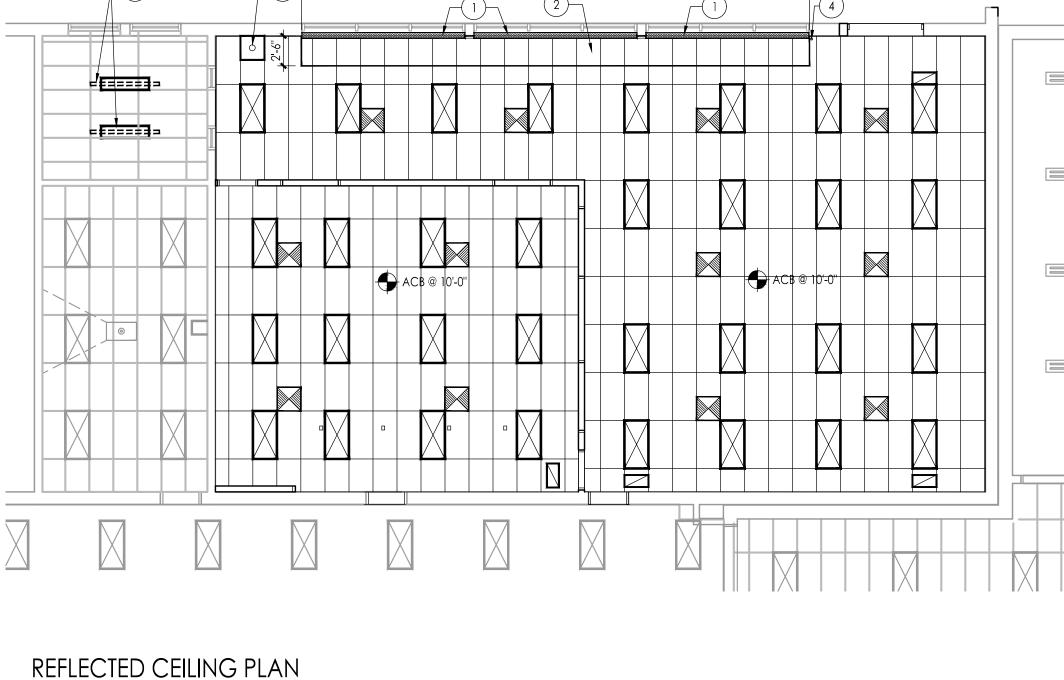


SCALE: 1/8" = 1'-0"



LED LIGHT PENDANT (SEE ELECTRICAL DRAWINGS)

POWER POLE (SEE ELECTRICAL DRAWINGS)



ALL WALLS SHALL EXTEND TO UNDERSIDE OF STEEL DECK UNLESS NOTED OTHER WISE. NEW FIRE EXTINGUISHER ON BRACKET (FE-1). SEE ROOM LAYOUT - SHEET A401 FOR LOCATION.

UNDERSIDE OF -

EXISTING WALL

CONTINUOUS TOP -

CEILING LINE

TRACK - BRACE TO

WALL AT BOTH ENDS

RUN GYPSUM WALL 6"

SEE ROOM FINISH

SCHEDULE (TYP.)

PROVIDE BLOCKING

3-5/8" MTL STUD AT -

5/8" GWB

24" O.C.

FLOOR TRACK -

SEALANT -

2 GWB CHASE WALL PARTITION 1

MIN. ABOVE CEILING LINE

CONSTRUCTION TO

CONTINUOUS METAL

TRACK

BRACED TO

AT 32" O.C.

FLOOR TRACK

METAL STUD ANCHOR

UNDERSIDE OF METAL

DECK OR STRUCTURE

STRUCTURE

႕ — — — — — -

DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

. ALL CORRIDOR WALLS ARE 1HR RATED, AS PER UL DES #U905/U906 U.N.O

UNDERSIDE OF

STRUCTURE ABOVE -

RUN STUD WALL TO

CONSTRUCTION ABOVE -

IN LONG LEG DEFLECTION

TRACK AND PROVIDE

CONTINUOUS BRIDGING

5/8" IMPACT RESISTANT GWB

6" MTL STUD AT 16" O.C.

SOUND ATTENUATION BATT

TO FULL DEPTH OF MTL STUD

BASE - SEE FINISH SCHEDULE

SOUND SEALANT BOTH SIDES

UNDERSIDE OF

TERMINATI

BAR (TYP)

SEE ROOM FINISH

SCHEDULE (TYP.)

ATTENUATION AT CAVITY

PROVIDE SOUND

& FLUTED DECK

STORAGE LAB / ROBOTICS 30'-6" SEE SHEET A401 FOR ENLARGED FLOOR CLASSROOM SEE SHEET A401 FOR ENLARGED FLOOR

NEW WORK PLAN

SCALE: 1/8" = 1'-0"

NOT TO SCALE

PROPOSED WORK AREA BUILDING KEY PLAN

STEM Lab Alterations & Renovations at Clearview Regional Middle School

roject Owner Name Clearview Regional High School District

Project Location 595 Jefferson Rd, Mullica Hill, NJ 08062

Project Number 5162C Project Date Checked By

Scale AS NOTED

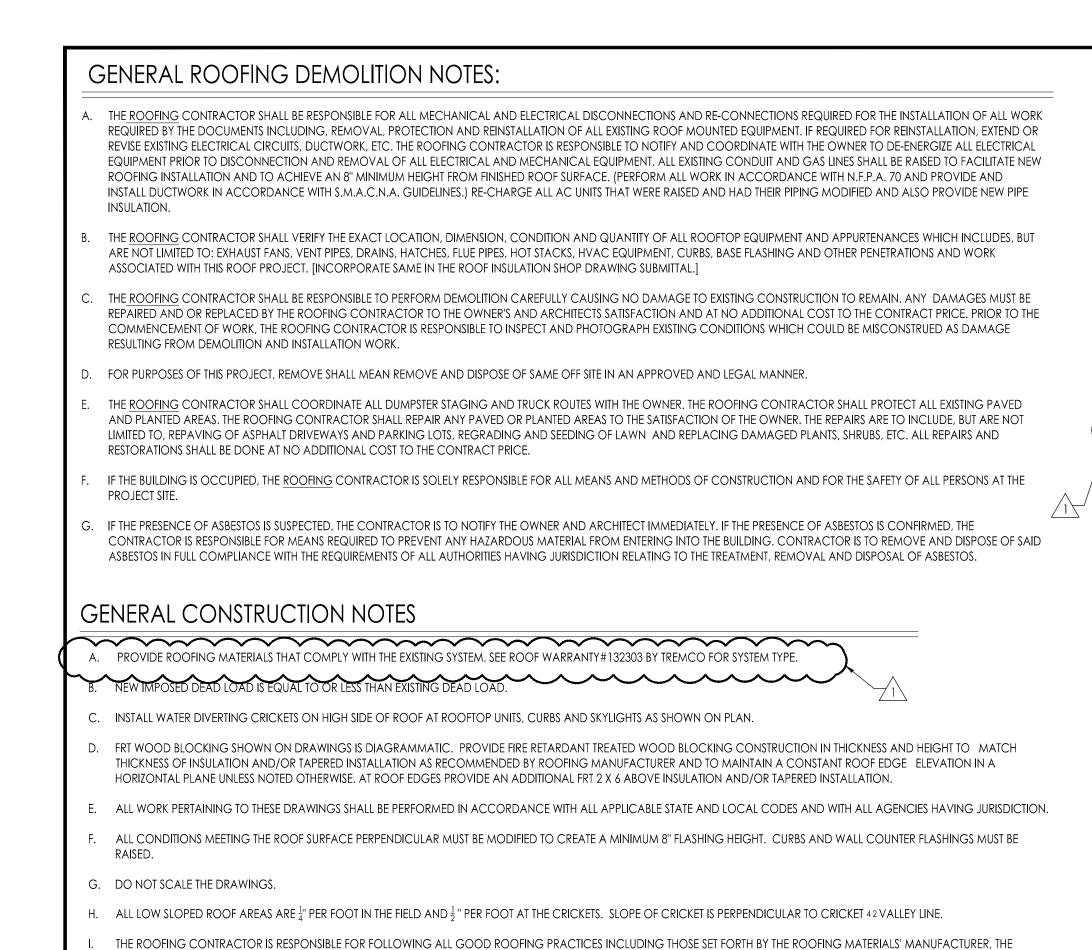
Drawn By

JMK/SB

Drawing Name

DEMOLITION, FLOOR & REFLECTED CEILING PLANS, WALL PARTIT-ION TYPES AND NOTE

No. Date Description ↑ 10.20.23 ADDENDUM 1



SMACNA SHEET METAL MANUAL, FACTORY MUTUAL, UNDERWRITERS LABORATORIES, AND THE NRCA'S ROOFING AND WATERPROOFING MANUAL.

ADJUSTMENTS MADE BY THE ROOFING CONTRACTOR TO THE INDICATED DESIGN GUIDELINES ARE AT NO ADDITIONAL COST TO THE OWNER.

MANUFACTURER'S WARRANTY. REVIEW ALL DRAWINGS INCLUDED IN THIS SET FOR ROOFTOP PENETRATIONS.

UNLESS NOTED OTHERWISE ALL ROOFING, ACCESSORIES, MATERIALS, ETC. SHALL BE CONSIDERED NEW.

N. ROOFING CONTRACTOR SHALL RETAIN A LICENSED ELECTRICAL SUBCONTRACTOR FOR ALL ELECTRICAL WORK.

2.INSTALL ENVELOPE EDGES TO ELIMINATE THE POTENTIAL FOR BITUMEN AND ADHESIVE DRIPPAGE INTO THE BUILDING

. CONTRACTOR SHALL AT ALL TIMES HAVE A FULL SET OF DRAWINGS AND SPECIFICATIONS ON ROOF TOP WHILE WORK IS IN PROGRESS.

U. CONTRACTOR RESPONSIBLE TO RECTIFY ANY PONDING WATER ON FINISHED ROOF SURFACE THAT REMAINS AFTER 48 HOURS AT NO ADDITIONAL COST

ROOFING CONTRACTOR SHALL RETAIN A LICENSED HVAC SUBCONTRACTOR FOR ALL HVAC WORK.

P. 1. PRIME ALL SURFACES WHICH ARE TO RECEIVE BITUMINOUS ROOFING.

3.ALL WOOD BLOCKING TO BE FRT, (FIRE RETARDANT LUMBER).

ORIGINAL WARRANTY ON EXISTING ROOF.

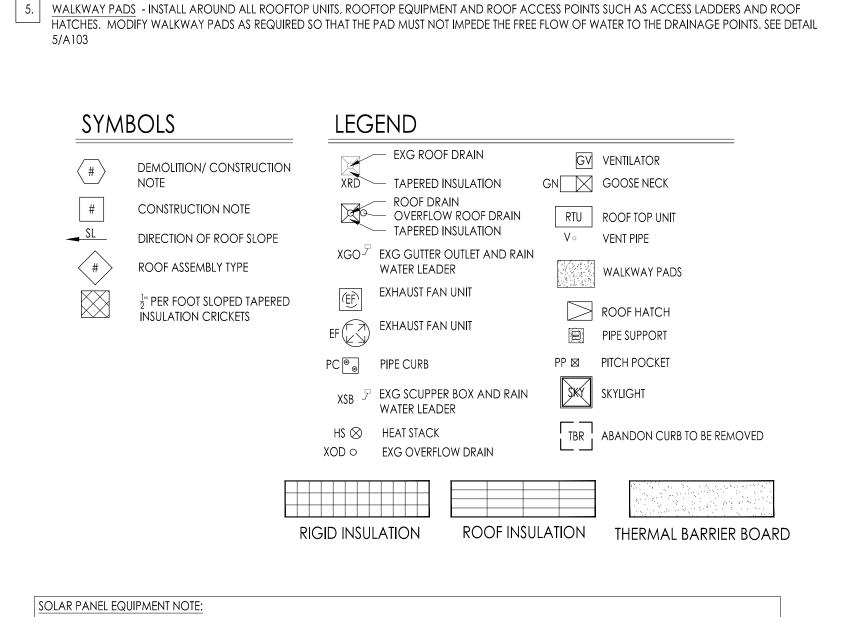
AND SCUPPERS.

THE ROOFING CONTRACTOR IS RESPONSIBLE FOR FLASHING ALL ROOF TOP PENETRATIONS, UNITS, AND CURBS ON THE ROOFS TO A WATERTIGHT CONDITION TO BE INCLUDED IN THE

ALL CRICKETS/ GUSSETS/ SADDLES SHALL HAVE A 3:5 RATIO. WHERE THIS CONDITION CANNOT BE ACHIEVED DUE TO VALLEY LINE OF CRICKET INTERSECTING MECHANICAL EQUIPMENT, PENETRATION AND A HIGH POINT GREATER THAN THE THRU-WALL COUNTER FLASHING, PROVIDE MAXIMUM CRICKET WIDTH TO PROMOTE POSITIVE DRAINAGE TO ALL ROOF DRAINS

1. HIGH POINTS INDICATED ON DRAWINGS ARE SHOWN FOR GUIDANCE ONLY. THE ROOFING CONTRACTOR IS RESPONSIBLE FOR FINAL TAPERED INSULATION DESIGN. ANY REQUIRED

CONTRACTOR SHALL MAKE NECESSARY TIE-INS AND ALTERATIONS TO EXISTING ROOF IN ACCORDANCE WITH ORIGINAL ROOF MANUFACTURERS REQUIREMENTS, SO AS TO MAINTAIN



THE EXISTING SOLAR EQUIPMENT IS CURRENTLY OWNED BY THE SCHOOL DISTRICT AND NON-OPERATIONAL. THE GC IS TO REMOVE THE PANELS

. angle remove existing equipment, cap existing curb to remain. See mep drawings for additional notes and details

ACCORDING TO ROOFING MANUFACTURER.

CONSTRUCTION NOTES - SBS: X

PERPENDICULAR TO SADDLE/CRICKET VALLEY LINE. ALL COLORS ARE SELECTED BY ARCH.

MANUFACTURES REQUIREMENTS TO MAINTAIN SAID WARRANTY, TYPICAL.

AND ASSOCIATED EQUIPMENT WITH CARE AND HAND OVER TO THE OWNER.

2. MODIFY EXISTING OPENING OF GRAVITY VENT TO ACCOMMODATE NEW EQUIPMENT. THE CONTRACTOR IS TO TAKE ALL NECESSARY STEPS TO ENSURE

TO PATCH AND REPAIR ALL DAMAGES INCURRED BY THE REMOVAL OF THE SOLAR PANELS ACCORDING TO THE ROOFING MANUFACTURER.

🗸 3. 🔪 de-energize, uninstall panels and associated conduits and appurtenances as shown on drawing outlined. Contractor shall determine

WEATHERTIGHTNESS DURING THE COURSE OF THE WORK. PATCH AND REPAIR ALL DAMAGE CAUSED BY RENOVATION TO MATCH EXISTING ADJACENT SURFACES

WHICH SECTION OF THE PANELS ARE TO BE REMOVED WITH OWNER BEFORE ANY REMOVAL AND THEN HAND OVER ALL EQUIPMENT TO OWNER. CONTRACTOR IS

AT VENT PIPES, INSTALL LIQUID APPLIED FLASHING SYSTEM W/ FLEECE REINFORCING. INSTALL PER MANUFACTURES LATEST INSTALLATION GUIDELINES FLASHING

SHALL BE INCLUDED IN ROOF MANUFACTURES WARRANTY SEE DETAIL 3/ A103. MODIFY/EXTEND ANY VENT PIPES THAT DO NOT MEET THE 8" MINIMUM BASE

AT ALL ROOFTOP EQUIPMENT ON FULLY ENCLOSED CURBS, ROOF HATCHES, & SKYLIGHTS, INSTALL ON WOOD BLOCKING WHICH HAS BEEN FASTENED TO THE

ROOF DECK TO MAINTAIN 8" MINIMUM FLASHING HEIGHT FROM THE SURFACE OF THE ROOF. INSTALL INSULATION AND CANT STRIP. RUN ROOF MEMBRANE UP

CURBS 2" ABOVE THE CANT STRIP. INSTALL SBS MODIFIED BITUMEN BASE FLASHING. FASTEN TOP EDGE AND INSTALL A REMOVABLE COUNTER FLASHING, SEE

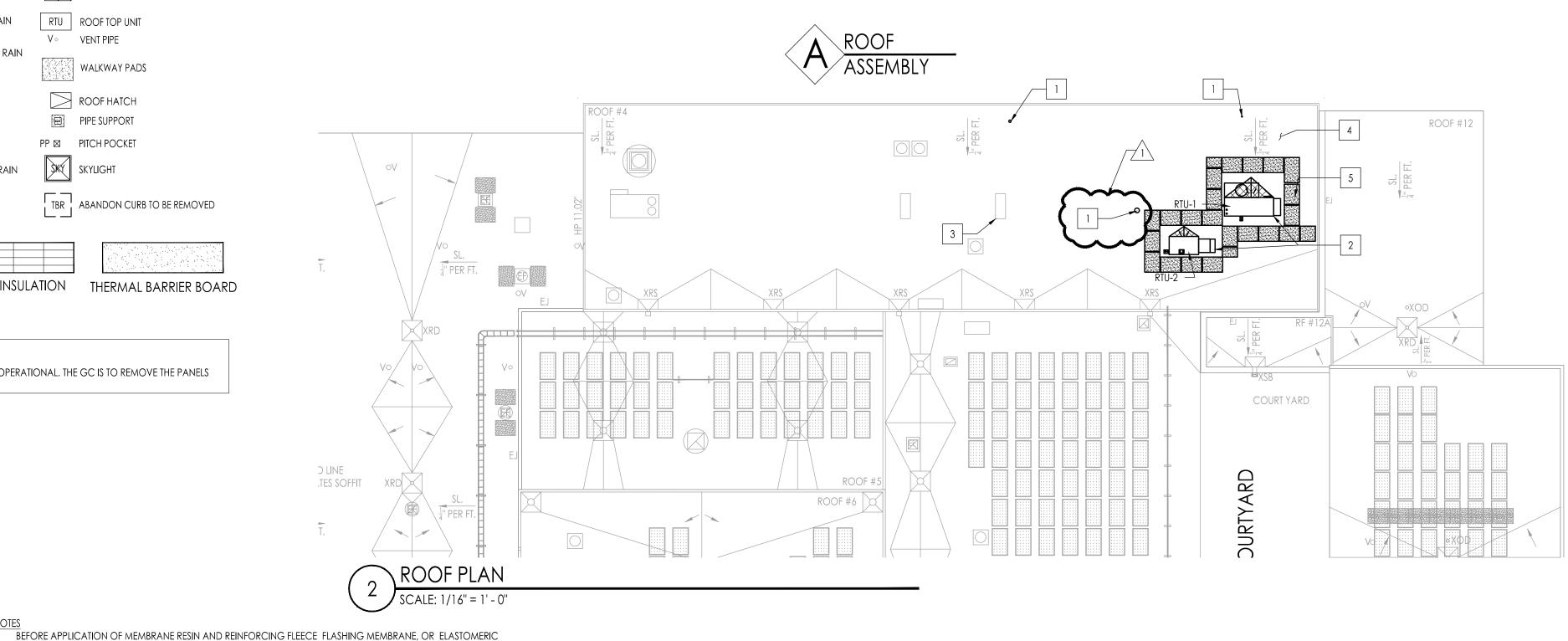
DETAIL 2/A 103 AND FOLLOW MFR'S LATEST INSTALLATION REQUIREMENTS. CURBS MUST ALSO BE SET LEVEL WHERE REQUIRED FOR PROPER FUNCTIONING OF

THE ROOF TOP UNIT. PROVIDE 1/2" PER FOOT SLOPED TAPERED INSULATION CRICKETS AT HIGH SIDE OF NEW ROOFTOP EQUIPMENT. CRICKET SLOPE IS

4. EXG ROOF TO REMAIN ARE UNDER WARRANTY, INSTALLATION OF ROOFTOP EQUIPMENT IN THIS AREA SHALL BE DONE IN ACCORDANCE WITH THE ROOFING

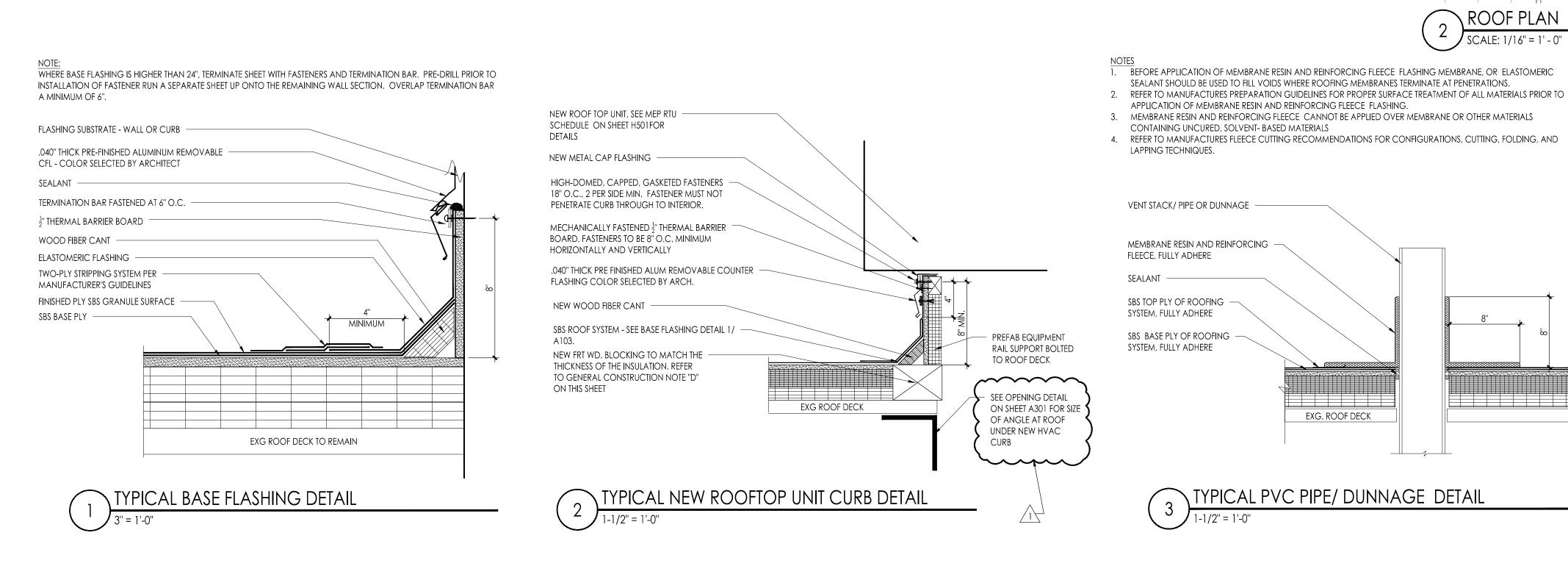
AT ALL REMOVED EQUIPMENT THAT WILL EXPOSE THE UNDERSIDE (INTERIOR), CAP EXISTING CURB AS SHOWN ON MEP'S DETAIL 3/H501.

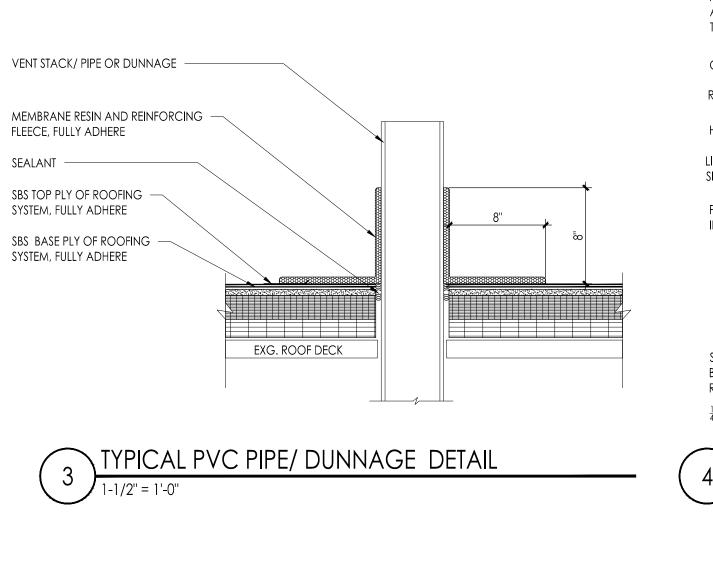
--- ELASHING-HEIGHT



ROOF #5

ROOF #6





SEALANT SHOULD BE USED TO FILL VOIDS WHERE ROOFING MEMBRANES TERMINATE AT PENETRATIONS.

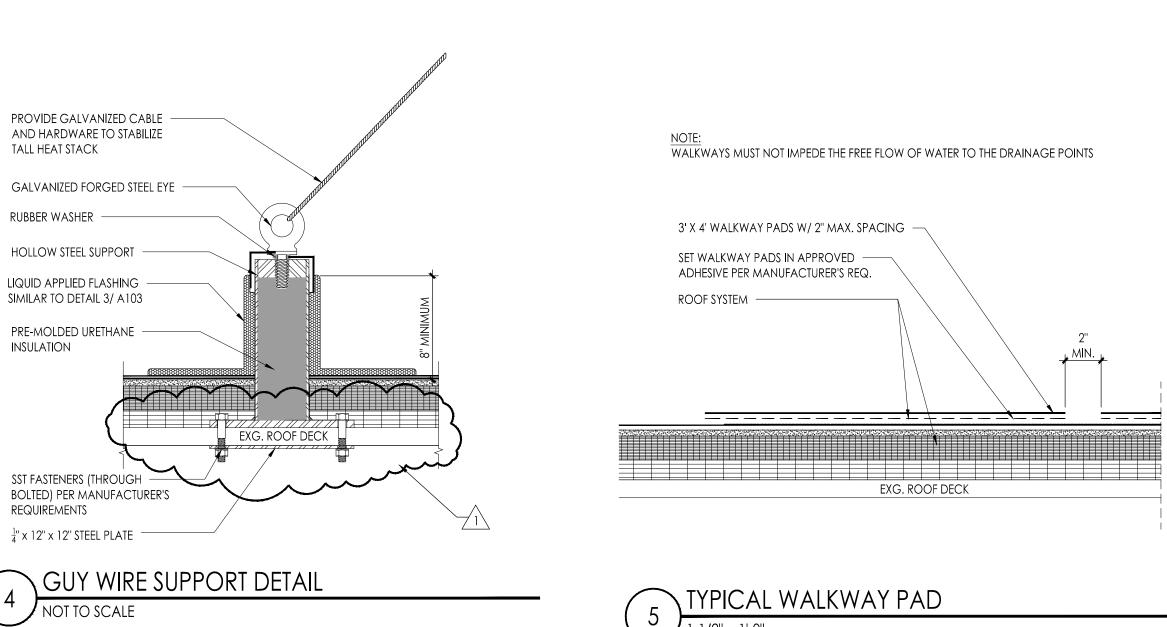
APPLICATION OF MEMBRANE RESIN AND REINFORCING FLEECE FLASHING.

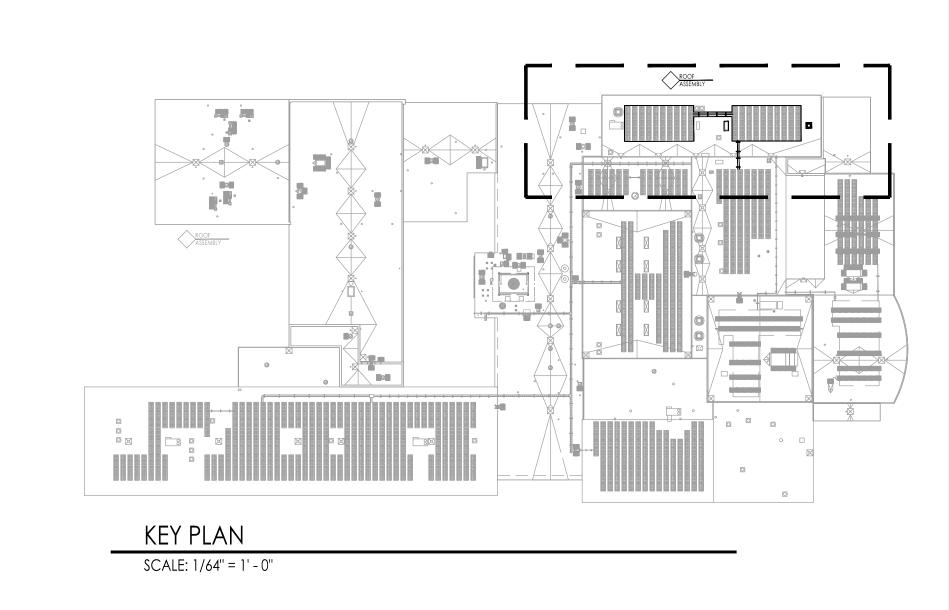
CONTAINING UNCURED, SOLVENT- BASED MATERIALS

LAPPING TECHNIQUES.

ATES SOFFIT

ROOF PLAN DEMOLITION





ROOF #12

STEM Lab Alterations & Renovations at Clearview Regional Middle School

Project Owner Name Clearview Regional High School District

Project Location

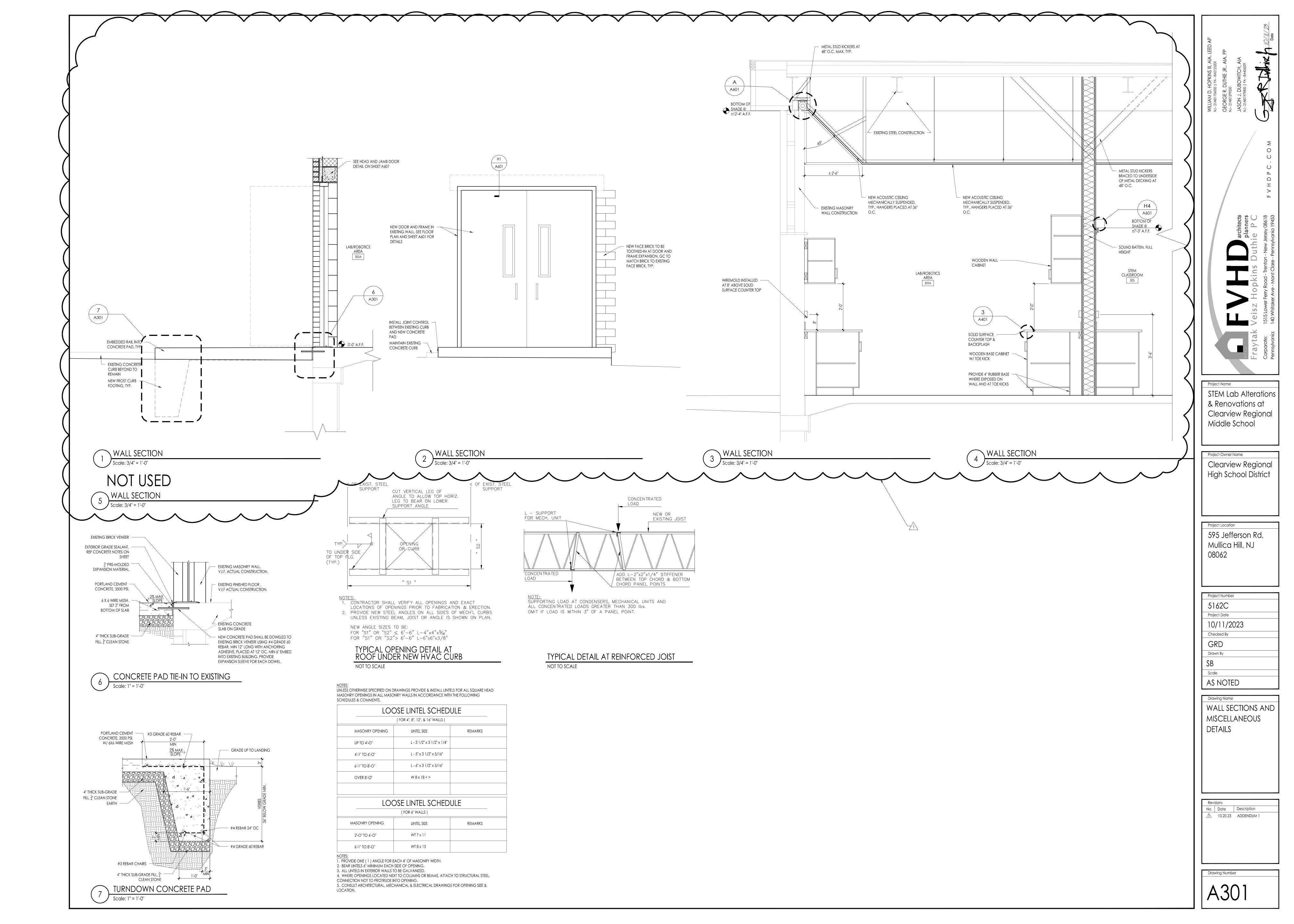
595 Jefferson Rd, Mullica Hill, NJ 08062

Project Number 5162C Project Date Checked By Drawn By

Scale **AS NOTED**

Drawing Name ROOF PLAN, DETAILS, AND NOTES

No. Date Description 10.20.23 ADDENDUM 1



GENERAL CASEWORK NOTES:

- 1. CATALOG NUMBERS REFER TO MOST CURRENT CAMPBELL RHEA CASEWORK CATALOG UNLESS OTHERWISE NOTED. FOR REFERENCE ONLY.
- ALL CASEWORK DOORS AND DRAWERS TO HAVE LOCKS KEYED ALIKE PER ROOM AND MASTER KEYED.
 ALL TOPS SHALL HAVE PLYWOOD AND SOLID SURFACE COVERING ON ALL EXPOSED SURFACES (UNLESS NOTED OTHERWISE). SEE EDGE DETAILS ON
- EXPOSED SURFACES (UNLESS NOTED OTHERWISE). SEE EDGE DETAILS ON SHEET FOR SPECIFIC THICKNESS.

 4. ALL BACKSPLASHES SHALL BE 1/2" SOLID SURFACES (UNLESS NOTED
- ALL FURNITURE AND EQUIPMENT SHOWN DOTTED AND/OR INDICATED AS (N.I.C.) IS NOT IN CONTRACT.
 THE CASEWORK & EQUIPMENT SUB-CONTRACTOR(S) SHALL TURN OVER TO THE PLUMBING AND ELECTRICAL GENERAL CONTRACTOR IN A PACKAGE, ALL SINKS, FIXTURES, FAUCETS, TAILPIECES, STRAINERS, GAS COCKS, ETC.,
- INSTALLATION AND FINAL CONNECTION.

 7. THE CASEWORK AND EQUIPMENT SUB-CONTRACTOR SHALL PROVIDE AN ITEMIZED LIST AND A DESIGNATED SITE LOCATION FOR THE TRANSFER OF THE MATERIALS REFERENCED IN NOTE 6 TO THE PLUMBING AND ELECTRICAL PRIME CONTRACTORS. THE LIST SHALL HAVE A DESCRIPTION OF THE ITEMS AND QUANTITY ALONG WITH A SIGN-OFF LINE FOR THE PLUMBING AND ELECTRICAL PRIME CONTRACTORS. A COPY OF THE SIGNED LIST IS TO BE SUBMITTED TO THE ARCHITECT / OWNER PRIOR TO BILLING FOR THIS

AND ELECTRICAL DEVICES, NIPPLES AND LOCKNUTS, ETC., FOR

- EQUIPMENT SUB-CONTRACTOR SHALL MAKE SINK CUT-OUTS.
 ALL OUTLETS WITHIN 6' OF A WATER SOURCE SHALL BE G.F.C.I. UNLESS
- NOTED OTHERWISE.

 10. SINK CABINETS SHALL BE INSTALLED BEFORE THE INSTALLATION OF
- ADJACENT CABINETS.

 11. ALL CONTRACTORS TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT IN WRITTEN FORM OF ANY
- DISCREPANCIES.

 12. PROVIDE ALL FILLERS AS REQUIRED. FILLERS AT BASE CABINETS SHALL BE AT FRONT OF CABINET AND COUNTERTOP SHALL BE CONTINUOUS OVER FILLER PANEL. FILLERS AT TALL CABINETS SHALL BE AT FRONT AND TOP OF CABINET. FILLERS AT WALL CASES SHALL BE AT FRONT, TOP AND BOTTOM OF CABINET. FINISH TO MATCH CASEWORK.
- 13. ALL PRINTERS AND COMPUTERS ARE N.I.C. (TYPICAL)

NOTE:

14. RUBBER BASE ON ALL CASEWORK BY G.C. (TYPICAL)
15. ALL SCHEDULED EQUIPMENT MANUFACTURERS ARE "BASIS OF DESIGN", OR APPROVED EQUAL.

ALL FURNITURE AND EQUIPMENT WITHOUT THE SYMBOL

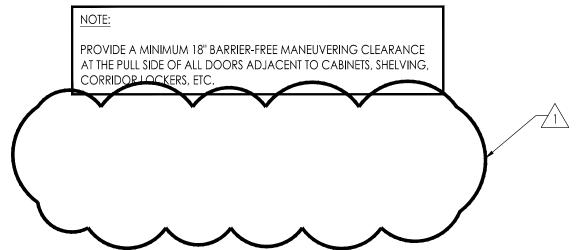
OR MARKED (N.I.C.) IS NOT IN CONTRACT UNLESS

NOTED OTHERWISE. SEE EQUIPMENT SCHEDULE FOR

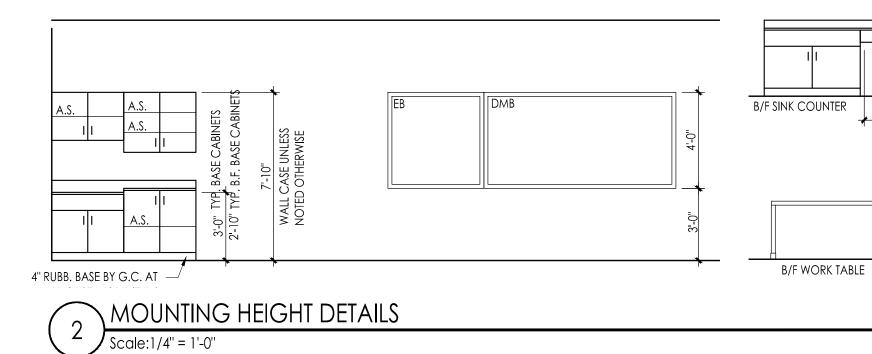
EQUIPMENT MARKED WITH THE SYMBOL

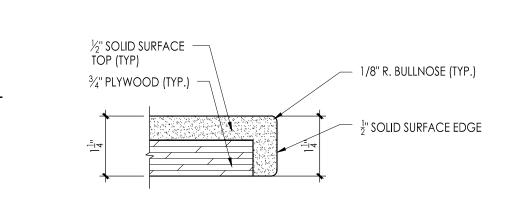
NOTE:

PROVIDE A MINIMUM 18" RAPPIED FREE MANEUVERING CLEARANCE

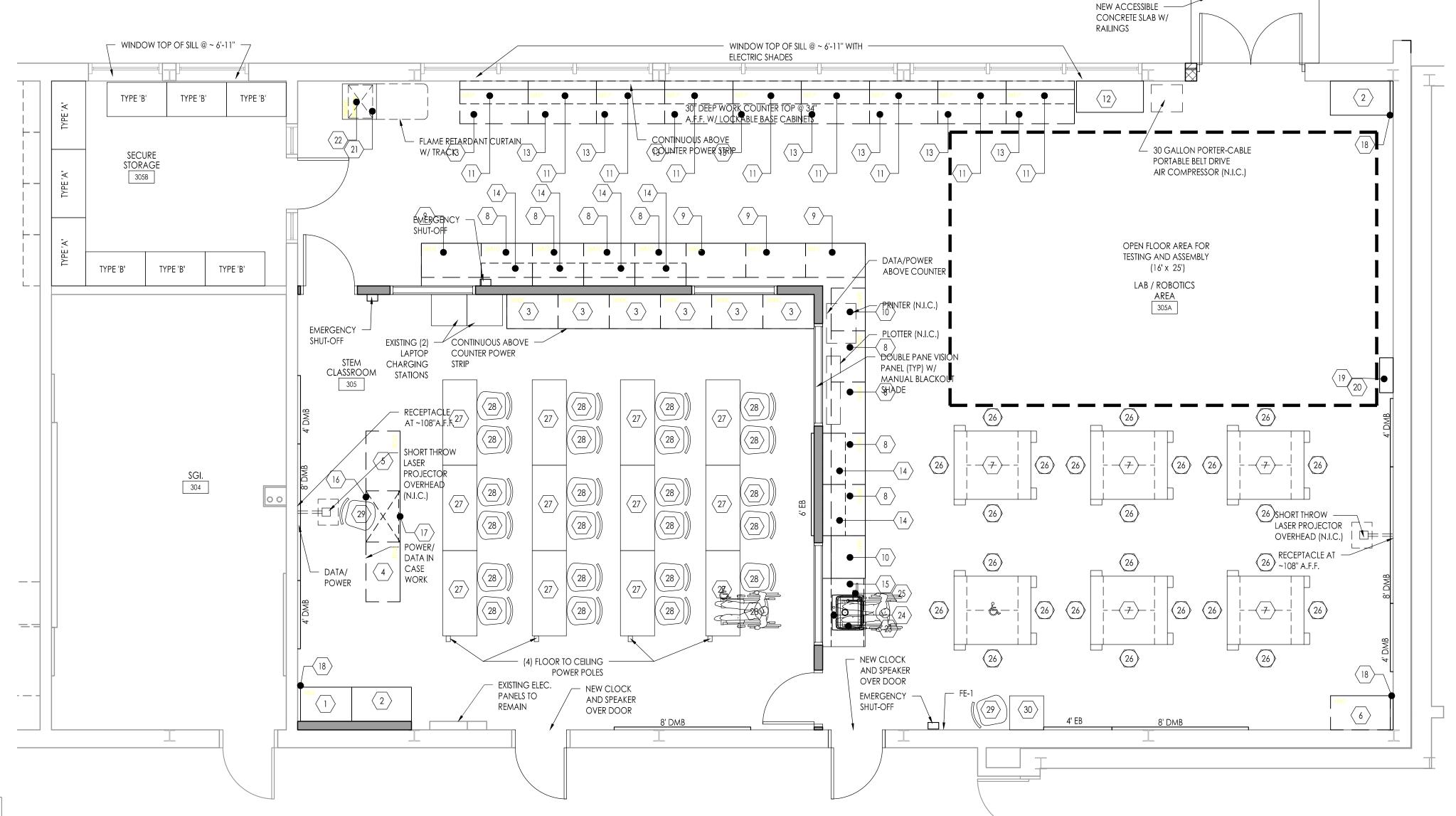


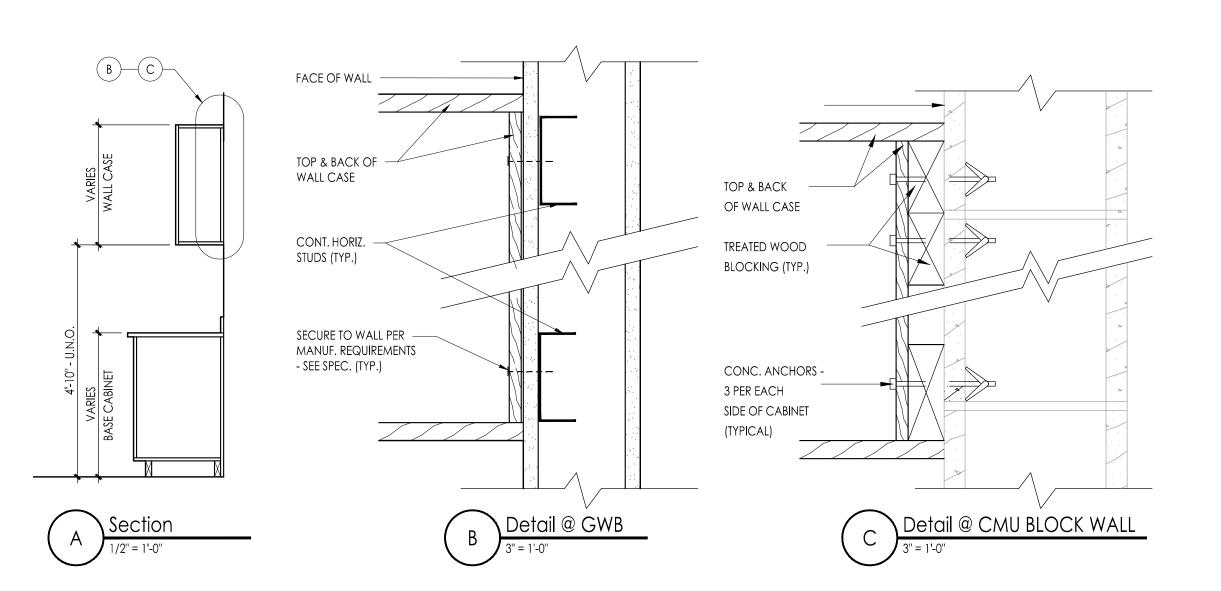
				EQUIPME	ent sc	HEDUI	<u>LĘ</u>
TEM NO.	MANUFACTURER	CAT. NO.	DESCRIPTION	WIDT	TH DEPTH	HEIGHT	REMARKS
1	CAMPBELL RHEA (OR APPROVED EQUAL)	5866	WARDROBE AND STORAGE CASE	35-1/4"	22-1/2"	84"	(1) FIXED SHELF; (3) ADJUSTABLE SHELVES; (1) HANGER ROD; 3 POINT LATCHING HANDLE. WARDROBE ON LEFT.
2	CAMPBELL RHEA (OR APPROVED EQUAL)	5690	TALL STORAGE CABINET	41-1/4"	22-1/2"	84"	(1) FIXED CENTER SHELF; (4) ADJUSTABLE SHELVES; ANCHOR TO WALL
3	CAMPBELL RHEA (OR APPROVED EQUAL)	3680C	OPEN BASE CABINET	35-1/4"	22-1/2"	33"	(2) ADJUSTABLE SHELVES
4	CAMPBELL RHEA (OR APPROVED EQUAL)	3755E	BASE CABINET	41-1/4"	22-1/2"	33"	DOUBLE DOORS; POWER/ DATA IN BASE CABINET; W/ BASE PANEL
5	CAMPBELL RHEA (OR APPROVED EQUAL)	3703E	BASE CABINET	41-1/4"	22-1/2"	33"	(4) DRAWERS AND DOOR HINGED LEFT; W/ BASE PANEL
6	CAMPBELL RHEA (OR APPROVED EQUAL)	6960	WARDROBE AND SUPPLY CASE	41-1/4"	22-1/2"	84"	(1) HANGER; (1) FIXED HAT SHELF; (2) ADJ. SHELVES; (2) LARGE FILE DRAWERS W/ FILE FOLLOWERS; (1) SHALLOW DRAWER W/ ADJ. PARTITIONS FOR RECORD CARDS UP TO 3"x5"; (1)10"x12" MIRROR; PIN TRAY AND TOWEL BAR ON RIGHT HAND DOOR
7	CAMPBELL RHEA (OR APPROVED EQUAL)	7302	STUDENT WORK BENCH	54"	48"	31-1/4"	BASE CABINET HAS (12) INDIVIDUAL LOCKERS, MASTER KEYED. ASSEMBLY HAS (4) 7352-A WOODWORKING VISES WITH ALUMINUM HANDLES. TOP IS 2-1/4" LAMINATED HARD MAPLE.
8	CAMPBELL RHEA (OR APPROVED EQUAL)	3681D	BASE CABINET	35-1/4"	22-1/2"	33"	DOUBLE DOORS; (1) ADJ. SHELF
9	CAMPBELL RHEA (OR APPROVED EQUAL)	3681E	BASE CABINET	41-1/4"	22-1/2"	33"	DOUBLE DOORS; (1) ADJ. SHELF
10	CAMPBELL RHEA (OR APPROVED EQUAL)	3681C	BASE CABINET	30"	22-1/2"	33"	DOUBLE DOORS; (1) ADJ. SHELF
11	CAMPBELL RHEA (OR APPROVED EQUAL)	4710	WALL CABINET	47-1/4"	16"	23-3/4"	DOUBLE DOORS; (1) ADJ. SHELF
12	CAMPBELL RHEA (OR APPROVED EQUAL)	6779B	FLAMMABLE STORAGE CABINET	47"	22"	35"	36-GAL. CAPACITY METAL CAB. W/ (1) ADJ. SHELF; SWINGING DOORS OPEN TO 180°; DOORS HAVE THREE-POINT LATCHING SYSTEM W/ BUILT-IN LOCK.
13	CAMPBELL RHEA (OR APPROVED EQUAL)	3681F	BASE CABINET	47-1/4"	22-1/2"	33"	DOUBLE DOORS; (1) ADJ. SHELF
14	CAMPBELL RHEA (OR APPROVED EQUAL)	4730	WALL CABINET	35-1/4"	16"	31-1/4"	DOUBLE DOORS; (2) ADJ. SHELF
15	CAMPBELL RHEA (OR APPROVED EQUAL)	8760	ADA CLOSURE PANEL ASSEMBLY	48"	22-1/2"	33"	
16	CAMPBELL RHEA (OR APPROVED EQUAL)	7075B	KNEESPACE COMPONENTS	35-1/4"	22-1/2"	4-7/8"	3/4" SOLID LUMBER FRONT RAIL W/ 30" CLEARANCE AREA
17	CAMPBELL RHEA (OR APPROVED EQUAL)	CDC36FB	BACK PANEL	36"	3/"	30"	SOLID LUMBER TO MATCH REST OF CASEWORK
18	CAMPBELL RHEA (OR APPROVED EQUAL)	9084-152	FILLER	6"		84"	FIELD CUT
19	CAMPBELL RHEA (OR APPROVED EQUAL) CAMPBELL RHEA (OR	6784	SAFETY GOGGLES CABINET	24-1/2"	9-1/2"	32"	REINFORCED STEEL CABINET W/ BAKED WHITE ENAMEL FINISH & VANDAL RESISTANT LOCKING DOUBLE DOORS
20	APPROVED EQUAL)	6790	SAFETY GOGGLES				QUANTITY (36)
21	ICI SCIENTIFIC INC.	P967-24	FUME HOOD BASE CABINETS	24"	22"	32"	(1) ADJUSTABLE SHELF; FULL SOLID BACK FOR ADDED SUPPORT
22	BMC LABORATORY	B-810	SPRAY BOOTH	24"	22"	46-1/2"	SEE SPECIFICATION FOR ACCESSORIES I.E. EXHAUST BLOWER; EXPLOSION PROOF LIGHT FIXTURE; EXPLOSION PROOF RECEPTACLE; EXPLOSION PROOF SWITCH; EPOXY RESIN COUNTERTOP; FLAME RETARDANT CURT/W/TRACK
23	ELKAY	LRADQ252260	LUSTERTONE CLASSIC STAINLESS STEEL	25"	22"	6"	SOUND DEADEN AT BOTTOM
24	JUST	J-1174-KS	FAUCET GROUP	8"		12-1/8"	4" VANDAL RESISTANT WRIST BLADES; 1.0 GPM AERATORS; ADA COMPLIANT
25	WATER SAVER	EW806	EYEWASH, DECK MOUNTED				RIGHT HAND MOUNTED; DUST COVER FOR EACH SPRAY HEAD; AP3600 THERMOSTATIC MIXING VALVE (T
26	VIRCO (OR APPROVED EQUAL)	1211927FG	LAB STOOLS - 121 SERIES	17-7/8"	17-7/8"	VARIES	ADJ. HEIGHT STOOL- HARD PLASTIC SEAT W/ FELT-BASE GLIDES
27	VIRCO (OR APPROVED EQUAL)	FTT2460	FLIP-TOP TECHNOLOGY TABLES	60"	24"	34"	ADJ. HEIGHT;18" DEEP WORK SURFACE W/ 6" DEEP FLIP-TOP COMPARTMENT FOR WIRE MANAGMENT
28	VIRCO (OR APPROVED EQUAL)	ZU418-FG-BR	ZUMBA® SERIES - STUDENT CHAIRS	20-3/4"	20-5/8"	32-1/4"	18" SEAT-HEIGHT; PROVIDE W/ FELT-BASE GLIDES AND BOOKRACK
29	VIRCO (OR APPROVED EQUAL)	4301	TASK CHAIR - 4300 SERIES	19-3/4"	18-1/2"	VARIES	ADJ. SEAT HEIGHT
30	VIRCO (OR APPROVED EQUAL)	IMT2	INSTRUCTOR MEDIA TOWER	27"	30"	40-5/8"	PROVIDE W/ LECTERN TOP (IMTIT); AND CASTERS
31	VIRCO (OR APPROVED EQUAL)	T762ELECT	POWER STRIP - PLATEAU® SERIES				12' CORD POWER STRIP W/ DIAGNOSTIC LEDs W/ 7 OUTLETS & EXCEEDS IEEE 587 CATEGORY A&B SURGI SUPPRESSION SPECIFICATIONS. PROVIDE (1) FOR EACH DESK; TOTAL OF (12)

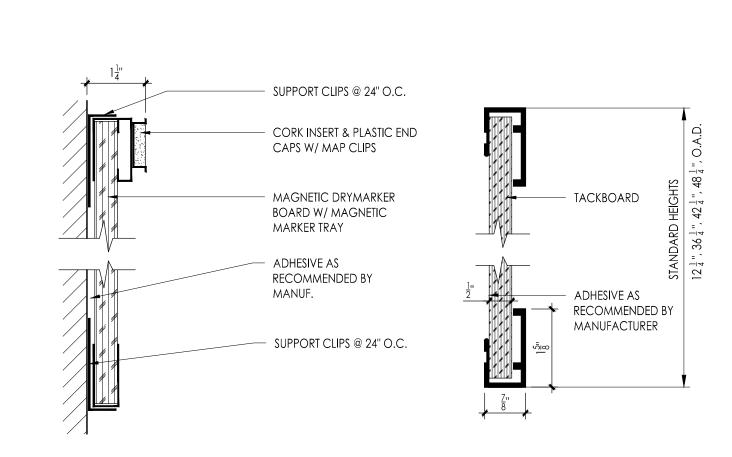






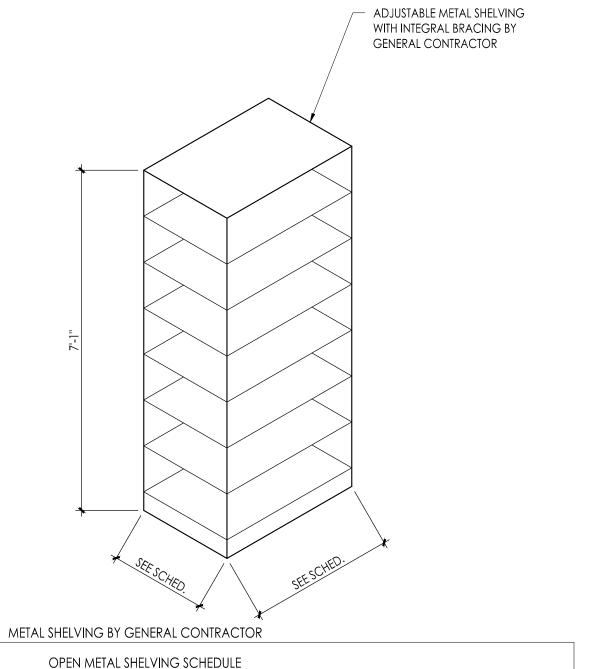






MARKER/EXIBITION BOARD DETAILS

Scale:6" = 1'-0"



METAL SHELVING BY GENERAL CONTRACTOR											
OPEN METAL SHELVING SCHEDULE											
TYPE	W	D	Н	TYPE	REMARKS						
Α	48''	24"	<i>7</i> '-1''	Α	4 ADJ SHELVES 1 FIXED (SPACED AT 18")						
В	42"	24"	7'-1"	Α	4 ADJ SHELVES 1 FIXED (SPACED AT 18")						

METAL SHELVING TYPES

Scale: 1/2" = 1'-0"

ENLARGED ROOM LAYOUT

CABINET WALL MOUNT DETAILS

Scale:VARIES

1/4" = 1'-0"

MILLIAM D. HOFNINS III, AIA, LEED AF

NJ-21401706000 I PA - RA012520X

GEORGE R. DUTHIE JR., AIA, PP

NJ-21401299200

JASON J. DUBOWITCH, AIA

NJ-21401979800 I PA - RA406009

Fraytak Veisz Hopkins Duthie P C

Corporate: 1515 Lower Ferry Road - Trenton - New Jersey 08618
Pennsylvania: 140 Whitaker Ave - Mont Clare - Pennsylvania 19453

STEM Lab Alterations & Renovations at Clearview Regional Middle School

Project Owner Name

Clearview Regional

High School District

Project Location

595 Jefferson Rd,
Mullica Hill, NJ
08062

Project Number

5162C

Project Date

10/11/2023

Checked By

GRD

Drawn By

AS NOTED

KM/SB

Drawing Name

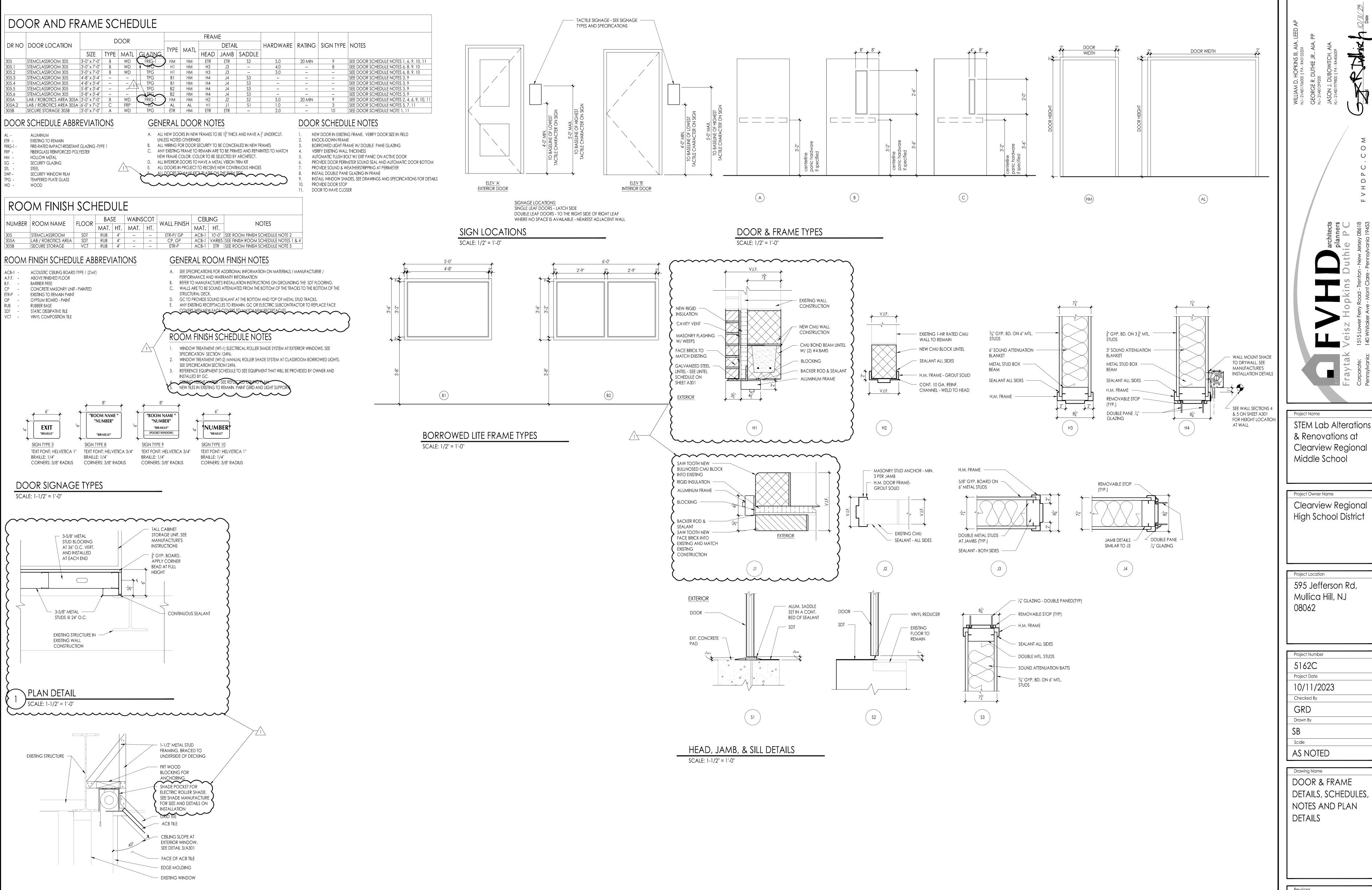
ENLARGED ROOM

LAYOUT

Revisions

No. Date Description

10.20.23 ADDENDUM 1



SELECTRIC ROLLER SHADE POCKET AT WINDOW

Project Owner Name Clearview Regional High School District

Project Location 595 Jefferson Rd, Mullica Hill, NJ

Project Number

5162C Project Date 10/11/2023

Checked By Drawn By

AS NOTED

DOOR & FRAME DETAILS, SCHEDULES, NOTES AND PLAN DETAILS

No. Date Description 10.20.23 ADDENDUM 1