

Drawn By: JMS Designing Checked By: RBH Date: 10/18/2024 2:57 PM
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 Final Check By: RBH Date: 10/18/2024 2:57 PM

78 WEST PARK AVENUE PUBLIC WORKS FACILITY

TAX MAP SHEET NO. 22, BLOCK 2232, LOTS 18, 19, 20 & 21 CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY PRELIMINARY AND FINAL MAJOR SITE PLAN

MAYOR
ANTHONY FANUCCI

CITY COUNCIL
 DR. ELIZABETH ARTHUR - PRESIDENT
 DAVID ACOSTA - VICE PRESIDENT
 PAUL SPINELLI - COUNCILMAN
 RONALD FRANCESCHINI, Jr - COUNCILMAN
 ALBERT VARGAS - COUNCILMAN

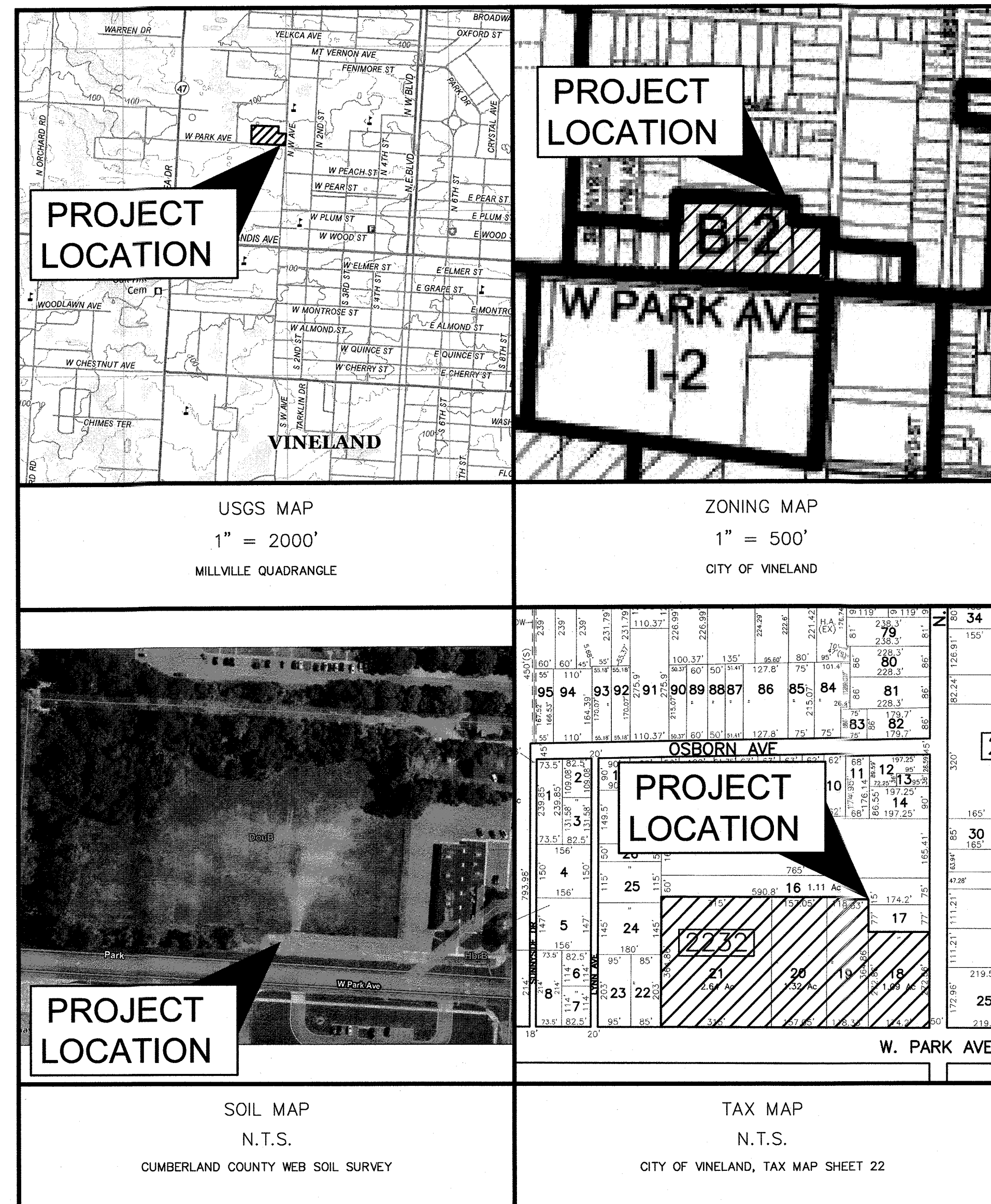
APPROVALS

MAYOR DATE

CITY ENGINEER DATE

PLAN SHEET #	TITLE
1	COVER SHEET
2	DEMOLITION PLAN
3	SITE PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	LANDSCAPE & LIGHTING PLAN
7	EROSION AND SEDIMENT CONTROL PLAN
8	EROSION AND SEDIMENT CONTROL DETAILS
9	SITE DETAILS 1
10	SITE DETAILS 2
11	SITE DETAILS 3

UTILITY COMPANY	ADDRESS
CITY OF VINELAND ELECTRIC UTILITY	640 EAST WOOD STREET VINELAND, NJ 08362 (856)794-4000
CITY OF VINELAND WATER/SEWER UTILITY	330 EAST WALNUT ROAD VINELAND, NJ 08360 (856)794-4000
COMCAST	1846 N.W. BOULEVARD VINELAND, NJ 08360 (800)934-6489
SOUTH JERSEY GAS COMPANY	1211 N. SECOND STREET MILLVILLE, NJ 08332 (856)327-1200
VERIZON	10 TANSBORO ROAD, 2ND FLOOR BERLIN, NJ 08009 (844)290-9432
LANDIS SEWAGE AUTHORITY	1776 S. MILL ROAD VINELAND, NJ 08362 (856)691-0551



PREPARED BY:
 DIVISION OF PLANNING AND FACILITIES
 640 E. WOOD STREET
 VINELAND, NEW JERSEY 08360

SITE DATA

PROPERTY IN QUESTION KNOWN AS: TAX MAP SHEET NO. 22, BLOCK 2232, LOTS 18, 19, 20 & 21, AS SHOWN ON THE OFFICIAL TAX MAP OF THE CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY.

PROPERTY IN QUESTION CONTAINS: 259,870.6 SQUARE FEET (5.965 AC). ENTIRE LOT DEVELOPABLE.
PROPERTY IN QUESTION IS ZONED: B-2 - BUSINESS ZONE (GOVERNMENTAL FACILITY)

OWNER/APPLICANT:
CITY OF VINELAND
640 E. WOOD STREET
VINELAND, NEW JERSEY 08362

PREPARED BY:
DIVISION OF PLANNING AND FACILITIES
640 E. WOOD STREET
VINELAND, NEW JERSEY 08362

PROPOSED LAND USE: ABANDONED OFFICE/VACANT
BOUNDARY AND TOPOGRAPHY IS BASED UPON PLAN ENTITLED, "PLAN OF SURVEY AND TOPOGRAPHY", PREPARED BY CONSULTING ENGINEER SERVICES, DATED 06/20/2023.

FIELD INSPECTION AND LOCATIONS PERFORMED BY CITY OF VINELAND IN DECEMBER 2023 AND JANUARY 2024.
NO WETLANDS ARE PRESENT ON-SITE AS SHOWN ON NJ GEO-WEB.

THE SITE IS LOCATED OUTSIDE OF THE FLOOD PLAIN ZONE PER FEMA, CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY, PANEL NUMBER 3401C0185E, DATED JUNE 16, 2016.

VERTICAL DATUM IS BASED UPON NAVD 88.
HORIZONTAL DATUM IS BASED ON NAD 83 (2011).

THE OWNER OR HIS REPRESENTATIVE IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(g) OF THE N.J. UNIFORM CONSTRUCTION CODE AND OFR 1926.32(9)(1) (OSHA COMPETENT PERSON).

THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES UNDERGROUND PER THE UNDERGROUND FACILITY PROTECTION ACT, BETTER KNOWN AS THE "ONE CALL" LAW, OCTOBER 1994. THIS LAW REQUIRES THAT ANYONE DIGGING MUST CALL 1-800-272-1000 OR 811, 72 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OR DEMOLITION SO THAT OPERATORS CAN MARK OUT THEIR UNDERGROUND UTILITIES IN ACCORDANCE WITH APPLICABLE LAWS, RULES, AND REGULATIONS.

EXISTING CITY OF VINELAND MONUMENTS SHALL BE PRESERVED TO THE GREATEST EXTENT PRACTICABLE. SHOULD THE MONUMENTATION BE DAMAGED OR DESTROYED, THE RESPONSIBLE PARTY SHALL REIMBURSE THE CITY OF VINELAND FOR THE REPLACEMENT OF SAID MONUMENTATION.

PER N.J.S.A. 40A:11-18, ONLY MANUFACTURED PRODUCTS OF THE UNITED STATES, WHEREVER AVAILABLE, SHALL BE USED FOR WORK WHICH THE CITY OF VINELAND OR ANY OTHER GOVERNMENTAL AGENCY SHALL ULTIMATELY OWN AND MAINTAIN.

BULK REQUIREMENTS			
PUBLIC WORKS FACILITY			
AREA AND BULK REQUIREMENTS	ALLOWABLE	EXISTING	PROPOSED
MIN. LOT AREA	2,500 S.F.	259,870.6 S.F.	259,870.6 S.F.
MIN. LOT FRONTAGE	50'	790.0'	790.0'
MIN. LOT DEPTH	50'	322.86'	322.86'
MIN. FRONT SETBACK	20'	39.2'	39.2'
MIN. REAR YARD SETBACK	10'	N/A	N/A
MIN. SIDE YARD	10'	56.0'	25.0'
MAX. BUILDING HEIGHT (PRINCIPAL)	30'	<30'	<30'
MAX. LOT COVERAGE	60%	14.4%	59.2%
FRONT BUFFER	25'	2.1'	25.0'
SIDE BUFFER (NORTHERLY)	25'	5.5'	8.1'
SIDE BUFFER (WESTERLY)	25'	1.2'	109.8'

PARKING REQUIREMENTS		
GOVERNMENTAL OR PUBLIC UTILITY FACILITY (1 PER EMPLOYEE ON MWS + 2 OTHERS)	REQUIRED	PROPOSED
MAKE-READY EV SPACES	3 SPACES	3 SPACES
ADA ACCESSIBLE SPACES	4 SPACES	4 SPACES

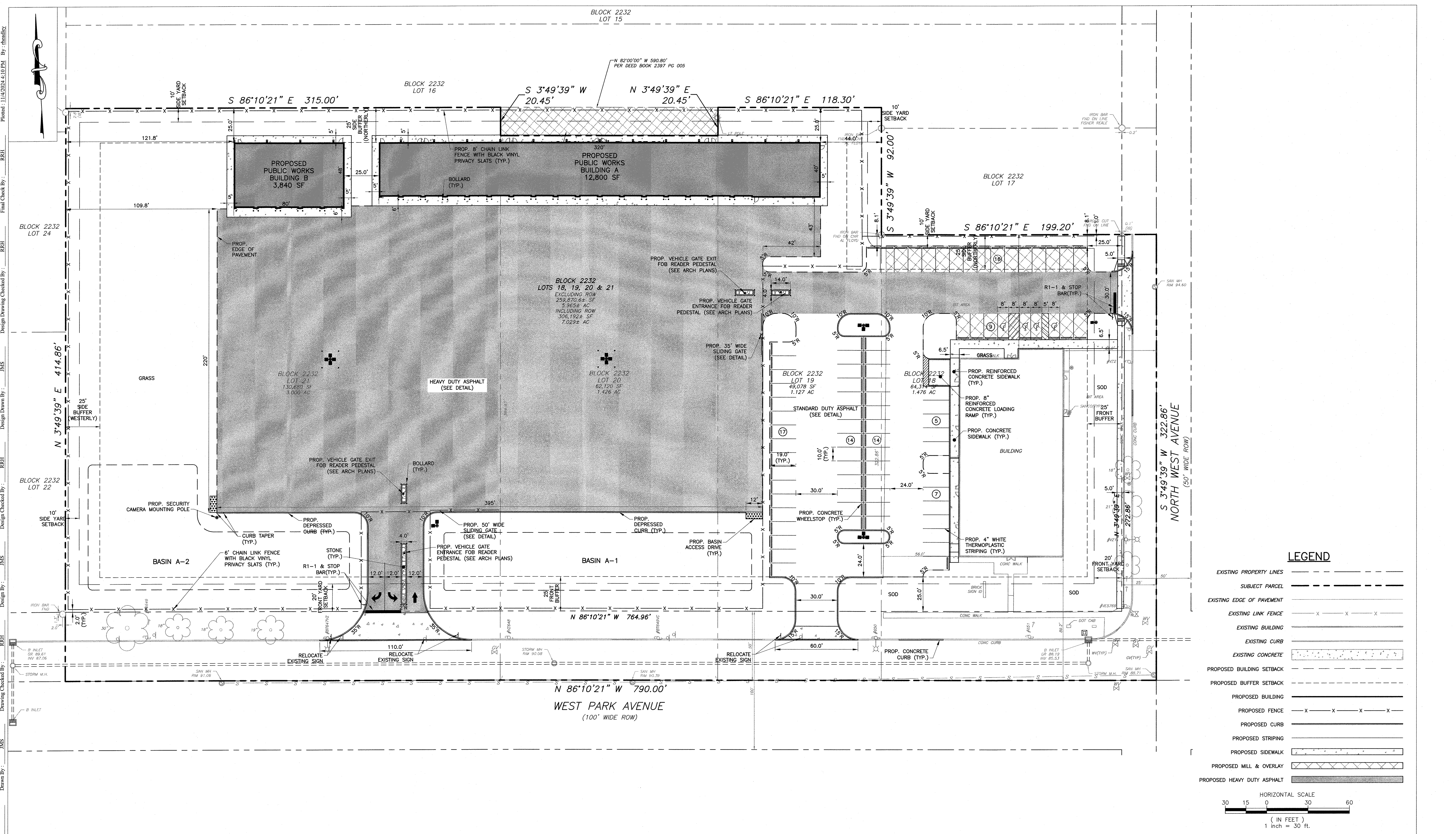
COVER SHEET
PUBLIC WORKS FACILITY
 PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
 CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

CITY OF VINELAND
 COUNTY OF CUMBERLAND STATE OF NEW JERSEY

SCALE: N.T.S. DIVISION OF PLANNING AND FACILITIES DATE: 10/08/2024
 FILE #: DPF-2024-02 640 EAST WOOD STREET
 VINELAND, NEW JERSEY 08360

Ryan R. Headley
 Professional Engineer
 N.J. License No. 24GE05211800

PHONE: (856) 794-4101 FAX: (856) 405-4606



LEGEND

- EXISTING PROPERTY LINES
- SUBJECT PARCEL
- EXISTING EDGE OF PAVEMENT
- EXISTING LINK FENCE
- EXISTING BUILDING
- EXISTING CURB
- EXISTING CONCRETE
- PROPOSED BUILDING SETBACK
- PROPOSED BUFFER SETBACK
- PROPOSED BUILDING
- PROPOSED FENCE
- PROPOSED CURB
- PROPOSED STRIPING
- PROPOSED SIDEWALK
- PROPOSED MILL & OVERLAY
- PROPOSED HEAVY DUTY ASPHALT

HORIZONTAL SCALE
 30 15 0 30 60
 (IN FEET)
 1 inch = 30 ft.

SITE PLAN
PUBLIC WORKS FACILITY
 PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
 CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

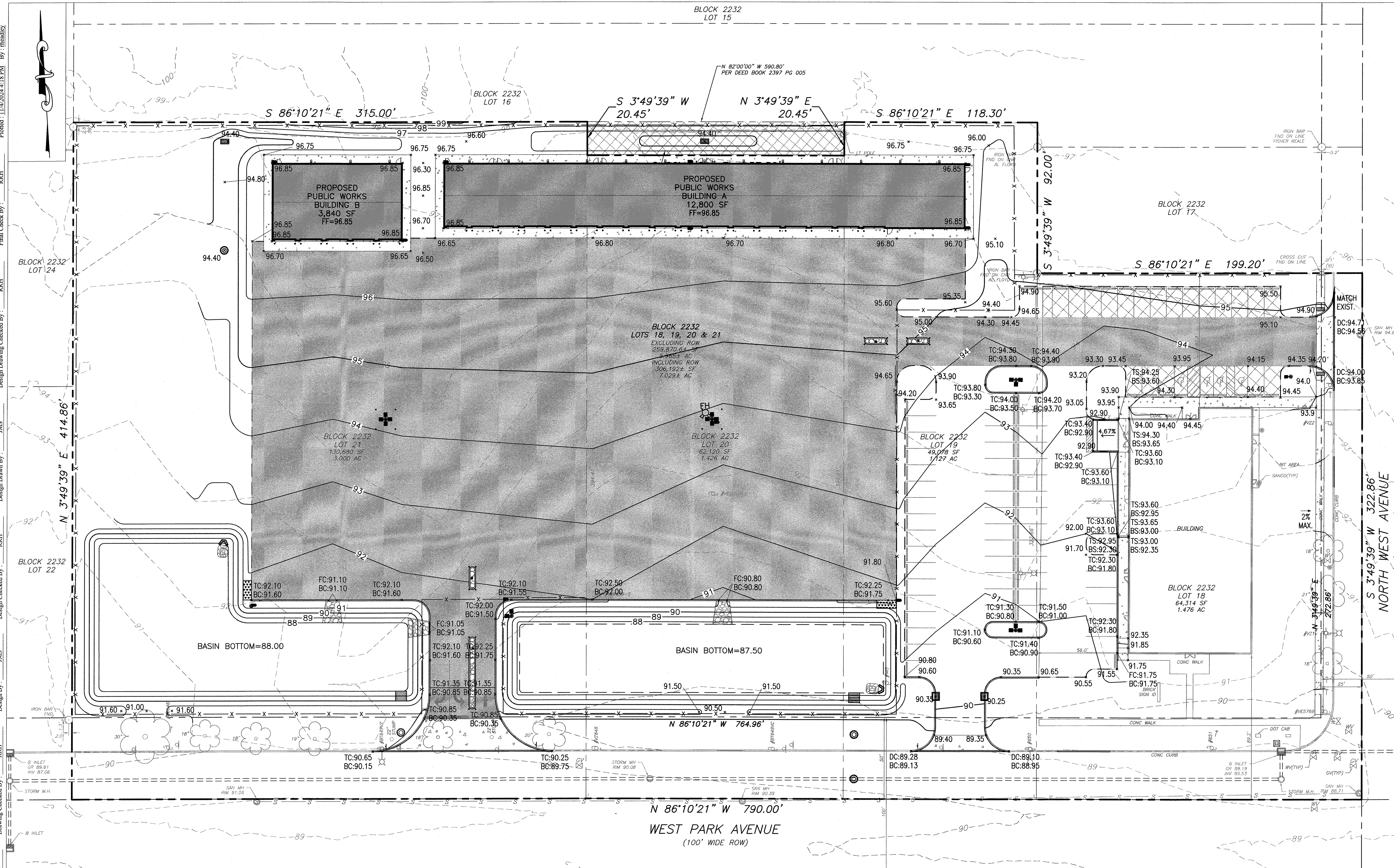
CITY OF VINELAND
 COUNTY OF CUMBERLAND STATE OF NEW JERSEY
 SCALE: 1"=30' DIVISION OF PLANNING AND FACILITIES DATE: 10/08/2024
 FILE #: DPF-2024-02 640 EAST WOOD STREET VINELAND, NEW JERSEY 08360

ISSUED FOR BID REVISIONS BY CKD DATE

RYAN R. HEADLEY
 Professional Engineer
 N.J. License No. 24GE05211800

PHONE: (856) 794-4101 FAX: (856) 405-4606

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INFILTRATION AREA CONSTRUCTION NOTES:

1. CONTRACTOR SHALL ENSURE INFILTRATION AREA SUBGRADE SOILS SHALL BE PROTECTED FROM COMPACTION BY CONSTRUCTION EQUIPMENT AND BE PROTECTED FROM CONTAMINATION AND CLOGGING BY SEDIMENT. THE AREA USED FOR THE INFILTRATION SHALL BE CORDONED OFF TO PREVENT CONSTRUCTION EQUIPMENT AND STOCK PILED MATERIALS FROM COMPACTING THE SUBGRADE SOILS. IF THIS IS NOT POSSIBLE, THE SOILS WITHIN THE EXCAVATED AREA SHALL BE RENOVATED AND TILLED AFTER CONSTRUCTION IS COMPLETED TO REVERSE THE EFFECTS OF COMPACTION.
2. DURING INFILTRATION AREA EXCAVATION, THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT SHALL BE USED. ALL EXCAVATION EQUIPMENT SHOULD BE PLACED OUTSIDE OF THE LIMITS OF THE BASIN.
3. MINIMIZE SILT AND OTHER DEBRIS FROM ENTERING THE INFILTRATION AREA DURING BOTH CONSTRUCTION AND AFTERWARDS. THE USE OF HEAVY EQUIPMENT WITHIN THE INFILTRATION AREA SHALL BE LIMITED.
4. ANY RESTRICTIVE SOILS MUST BE REMOVED FROM THE BASIN BOTTOM UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER.

GENERAL NOTES:

1. LIGHTWEIGHT CONSTRUCTION EQUIPMENT SHALL BE USED IN LAWN AREAS.
2. MAINTENANCE OF THE ENTIRE DRAINAGE SYSTEM, INCLUDING BASIN, STORMWATER PIPING, SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. ANY SOIL BROUGHT ON TO THE SITE, INCLUDING TOPSOIL AND OTHER FILL SOIL, MUST BE CERTIFIED CLEAN SOIL.
4. ROOF DOWNSPOUTS SHALL DRAIN TO STORMWATER DRAINAGE SYSTEM, AS NOTED.
5. ALL BUILDING ROOF LEADERS SHALL BE DIRECTED IN THE PROPER LOCATION IN ACCORDANCE WITH THE DRAINAGE PLANS.
6. PRIOR TO CONSTRUCTION, THE AREA TO BE USED FOR INFILTRATION BASINS SHALL BE CORDONED OFF TO PREVENT CONSTRUCTION EQUIPMENT AND STOCKPILED MATERIALS FROM COMPACTING SUBSOILS.
7. DURING BASIN CONSTRUCTION, THE SAME PRECAUTIONS SHALL BE TAKEN TO PREVENT BOTH SUBGRADE SOIL COMPACTION AND SEDIMENT CONTAMINATION.
8. PRIOR TO ACCEPTANCE OF THE BASINS BY THE CITY OF VINELAND, THE CONTRACTOR SHALL PROVIDE THE FOLLOWING DOCUMENTATION:
 - AS-BUILT PERCOLATION TEST RESULTS SHALL BE PROVIDED FOR THE BASIN.
 - AS-BUILT SURVEY OF ANY NEW STORMWATER MANAGEMENT BMP SHALL BE PROVIDED. THE AS-BUILT SURVEY SHALL INCLUDE, AT A MINIMUM, BOTTOM OF BASIN ELEVATION, TOP OF BASIN ELEVATION, ONE-FOOT ELEVATION CONTOURS WITHIN THE BASIN AND A MINIMUM OF 10 FEET OUTSIDE OF TOP OF BASIN, LOCATION AND ELEVATIONS OF ALL INLET AND OUTLET STRUCTURES, PIPE AND WEIR INFORMATION AND ELEVATIONS FOR ALL STRUCTURES WITHIN THE BASIN, SPILLWAY INFORMATION, WIDTH, AND ELEVATION. ADDITIONALLY, THE AS-BUILT SURVEY SHALL INCLUDE A CONSTRUCTED ELEVATION-VOLUME TABLE.

DRAINAGE PIPE NOTES AND SPECIFICATIONS:

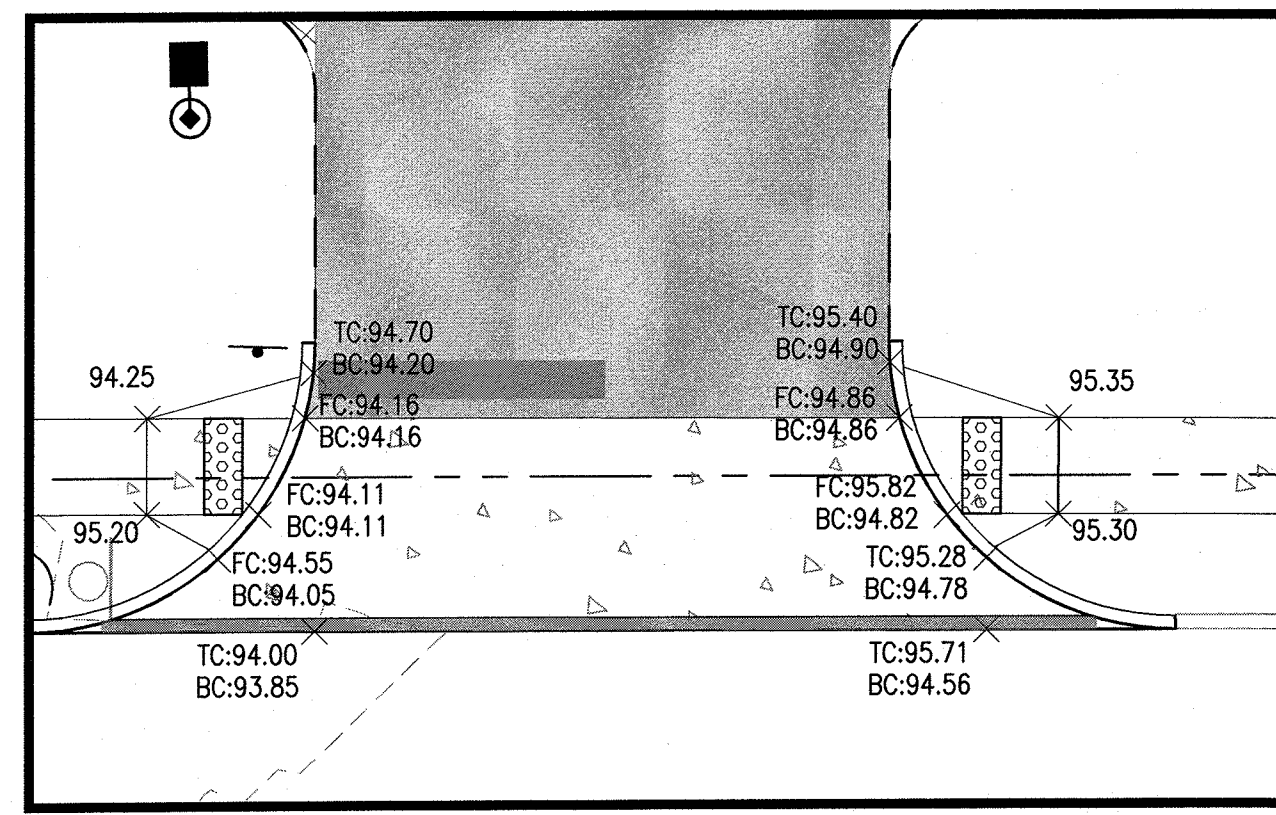
- THE FOLLOWING APPLY TO REINFORCED CONCRETE PIPE:
- A. CIRCULAR REINFORCED CONCRETE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM C76 or ASTM C655.
 - B. ELLIPTICAL REINFORCED CONCRETE PIPE SHALL MEET THE REQUIREMENTS OF ASTM C507.
 - C. JOINT DESIGN AND JOINT MATERIAL FOR CIRCULAR PIPE SHALL CONFORM TO ASTM C443.
 - D. JOINTS FOR REINFORCED CONCRETE PIPE AND ELLIPTICAL PIPE SHALL BE WATER TIGHT BELL AND SPIGOT OR TONGUE AND GROOVE SEALED WITH BUTYL RUBBER TAPE, RUBBER RING GASKETS OR EXTERNAL SEALING AND CONFORMS TO ASTM C877.
 - E. ALL PIPE SHALL BE CLASS III MINIMUM UNLESS LOADING CONDITIONS CALL FOR STRONGER PIPE (I.E., HIGHER CLASS).
 - F. THE MINIMUM DEPTH OF COVER OVER THE CONCRETE PIPE SHALL BE AS DESIGNATED BY THE AMERICAN CONCRETE PIPE ASSOCIATION.

ALL STORM PIPE JOINTS SHALL BE WRAPPED WITH MIRAFI 140N FILTER FABRIC OR AN APPROVED EQUAL.

ALL PIPE DELIVERED TO THE PROJECT SITE SHALL BE MARKED WITH THE MANUFACTURER'S NAME, DATE, THE CLASS AND/OR TYPE OF PIPE.

PIPE INSTALLATION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

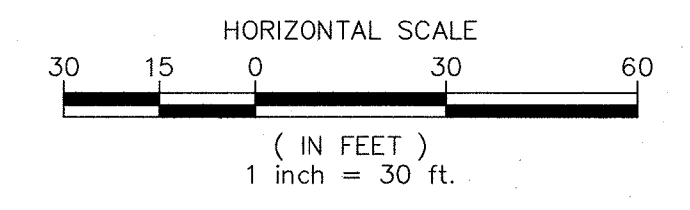
- A. THE TRENCH SHALL BE EXCAVATED WIDE ENOUGH TO ADEQUATELY PLACE AND COMPACT BACKFILL MATERIAL.
- B. BACKFILL MATERIALS SHALL CONFORM TO THE ASTM D2321 CLASS I, II OR III. NATIVE SOIL MAY BE USED AS BACKFILL PROVIDED IT MEETS THE REQUIREMENTS OF ASTM D2321 FOR THE RESPECTIVE CLASS OF MATERIAL. EXCAVATED MATERIALS NOT CONFORMING WITH THIS REQUIREMENT MUST BE REPLACED WITH SUITABLE MATERIAL.
- C. BACKFILL SHALL BE PLACED AND COMPACTED IN LAYERS NOT EXCEEDING NINE INCHES (9") IN COMPACTED THICKNESS. THE INITIAL LAYER OF BACKFILL MATERIAL SHOULD BE PLACED EVENLY ON BOTH SIDES OF THE PIPE UNDER THE HAUNCHES OF THE PIPE TO ENSURE EVEN LOAD DISTRIBUTION OVER THE PIPE.
- D. BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. HAND-OPERATED RAMMER TYPE COMPACTORS AND VIBRATING COMPACTOR MAY BE USED FOR COMPACTING BACKFILL. CAUTION SHOULD BE USED TO ENSURE THAT DAMAGE IS NOT DONE TO THE PIPE AS A RESULT OF DIRECT IMPACT OF THE COMPACTION EQUIPMENT ON THE PIPING MATERIALS.



WEST AVENUE ADA DETAIL
1"=10'

LEGEND

EXISTING PROPERTY LINES	---
SUBJECT PARCEL	----
EXISTING CURB	=====
EXISTING CONCRETE	[Pattern]
EXISTING MINOR CONTOUR	- - - - -
EXISTING MAJOR CONTOUR	- - - - -
PROPOSED MINOR CONTOURS	-----
PROPOSED MAJOR CONTOURS	-----
PROPOSED SPOT GRADES	TC:63.00 x BC:62.50 x 63.00
EXISTING STORM	[Symbol]
EXISTING STORM MANHOLE, INLETS	[Symbol]
PROPOSED STORM MANHOLE, INLETS	[Symbol]



GRADING PLAN
PUBLIC WORKS FACILITY
PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

CITY OF VINELAND

COUNTY OF CUMBERLAND STATE OF NEW JERSEY
SCALE: 1"=30' DIVISION OF PLANNING AND FACILITIES DATE: 10/08/2024
FILE #: DPF-2024-02 640 EAST WOOD STREET VINELAND, NEW JERSEY 08360

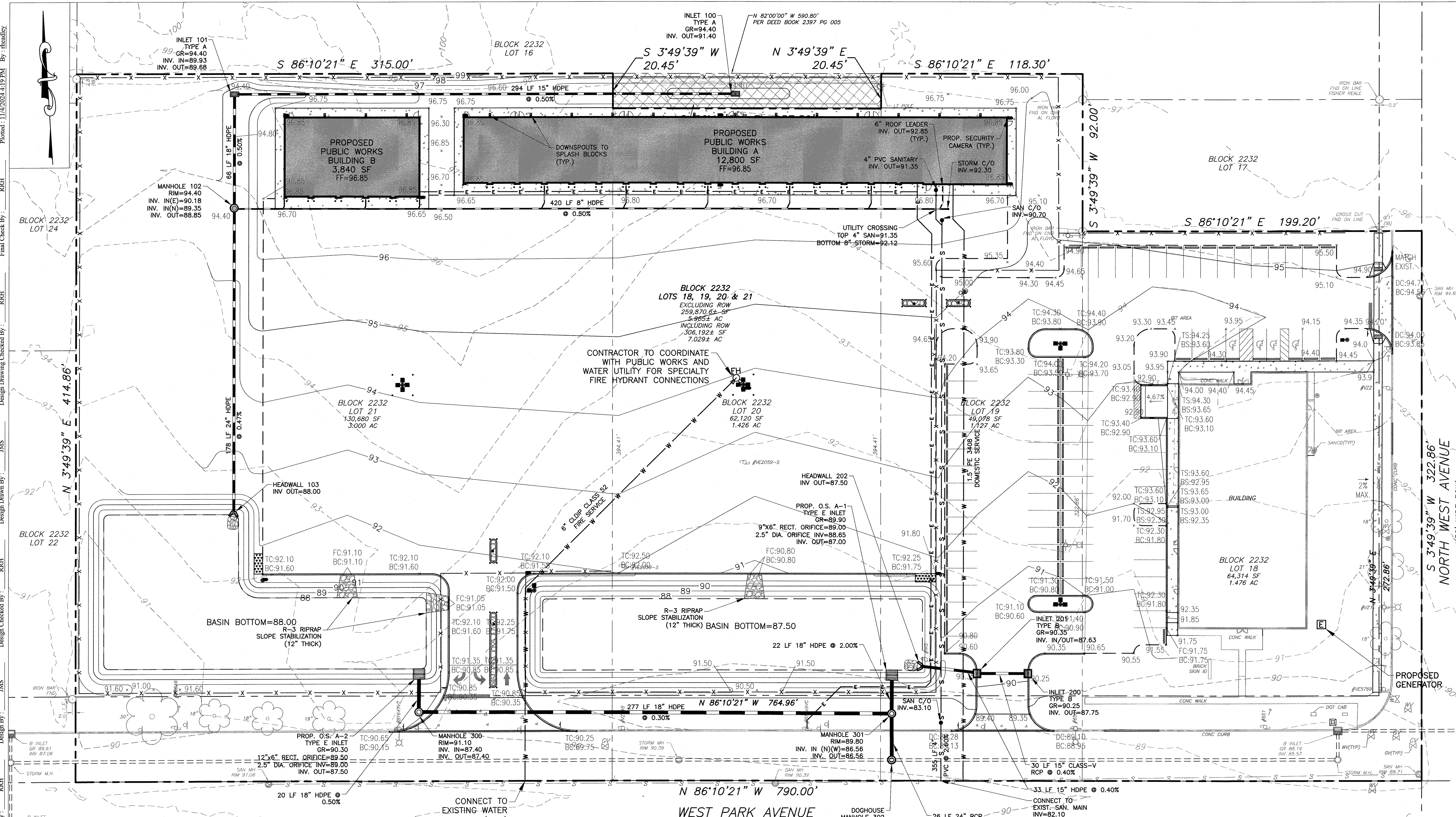
Ryan R. Headley
 Professional Engineer
 N.J. License No. 24GE05211800

ISSUED FOR BID REVISIONS

DATE	10/18/24
BY	RRH
CHKD	RRH
DATE	

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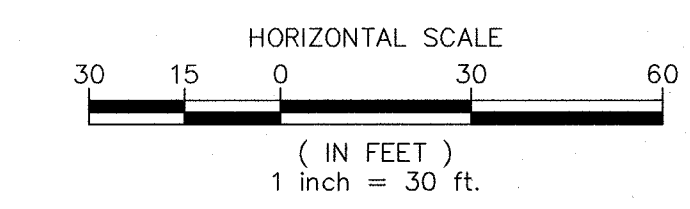
PHONE: (856) 794-4101 FAX: (856) 405-4666



- GENERAL NOTES:**
1. ALL CONSTRUCTION, MATERIALS, RESTORATIONS AND METHODS OF INSTALLATION IN CITY ROADS SHALL BE SUBJECT TO THE REQUIREMENTS AND APPROVAL OF THE CITY ENGINEER.
 2. THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE EXACT LOCATION OF THE FOLLOWING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY: LIGHTING POLES, ELECTRICAL TRANSFORMERS, ELECTRICAL SERVICE TO BUILDING(S), TELEPHONE AND CABLE TELEVISION BOXES AND DISTRIBUTION SERVICES TO BUILDING(S), GAS MAINS, GAS SERVICE TO BUILDING(S), AS NEEDED FOR THE PROJECT. IF THERE ARE CONFLICTS, NOTIFY THE ENGINEER, IN WRITING, PRIOR TO INSTALLATION. THIS MAY INCLUDE, BUT IS NOT LIMITED TO, PERFORMANCE OF TEST PITS AT POTENTIAL CONFLICT POINTS TO DETERMINE THE EXACT DEPTH OF EXISTING UTILITIES.
 3. WHEREVER THE TRENCH BOTTOM DOES NOT AFFORD SUFFICIENT BEARING STRENGTH TO SUSTAIN THE WEIGHT OF THE PIPE AND SUPERIMPOSED LOADS, IT SHALL BE OVER EXCAVATED AND STABILIZED WITH A 12 INCH THICK MINIMUM LAYER OF DENSE GRADED AGGREGATE (DGA).
 4. THE CONTRACTOR SHALL VERIFY THE LOCATION AND THE DEPTH OF ALL EXISTING UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND PROPOSED FACILITIES AND SHALL UTILIZE THE MANDATORY NOTIFICATION SYSTEM PER LAWS, RULES AND REGULATIONS AT 1-800-272-1000.
 5. CONTRACTOR EFFORTS SHALL BE MADE TO RETAIN EXISTING TREES, VEGETATION AND NATURAL CHARACTERISTICS OF THE TRACT.
 6. THE CONTRACTOR SHALL PAY ALL STREET OPENING FEES AND GIVE NOTICES NECESSARY FOR AND INCIDENTAL TO THE DUE AND LAWFUL EXECUTION OF THE PROJECT.
 7. NO MATERIALS SHALL BE PLACED NOR ANY DISTURBANCE PERMITTED BEYOND THE PROJECT PROPERTY LINE WITHOUT THE WRITTEN PERMISSION OF THE PROPERTY OWNER DIRECTLY INVOLVED.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING, PAVING, TOPSOILING, SODDING, FERTILIZING AND SEEDING ALL AREAS DISTURBED BY HIS ACTIVITIES. ROAD PAVEMENT, REPLACEMENT, AND ALL RESTORATION IN CITY ROADS SHALL MEET THE REQUIREMENTS OF THE CITY ENGINEER.
 9. INSPECTION OF, OR FAILURE TO INSPECT ANY MATERIALS OR WORKMANSHIP BY STATE, COUNTY OR CITY OFFICIALS SHALL IN NO WAY RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND LAWS.
 10. PRIOR TO CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPROVED BY THE SOIL CONSERVATION DISTRICT IN COMPLIANCE WITH CHAPTER 251 OF THE PUBLIC LAWS OF 1975. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED OR THE AREA IS STABILIZED IN ACCORDANCE WITH THE SOIL CONSERVATION DISTRICT'S RECOMMENDATIONS.
 11. ALL UTILITIES INCLUDING ELECTRIC, TELEPHONE AND CABLE TELEVISION SHALL BE UNDERGROUND (UNLESS OTHERWISE NOTED).
 12. TRENCH BACKFILL SHALL BE COMPACTED TO 95% OF DRY DENSITY PER D-1557.
 13. AT THE END OF EACH WORKING DAY THE CONTRACTOR SHALL COMPLETELY BACKFILL TRENCH.
 14. THE ROADWAY SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY.

LEGEND

- EXISTING PROPERTY LINES
- SUBJECT PARCEL
- EXISTING CURB
- EXISTING CONCRETE
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED MINOR CONTOURS
- PROPOSED MAJOR CONTOURS
- PROPOSED SPOT GRADES
- EXISTING STORM
- EXISTING STORM MANHOLE, INLETS
- PROPOSED WATER SERVICE
- PROPOSED SEWER SERVICE
- PROPOSED ELECTRIC SERVICE
- PROPOSED STORM
- PROPOSED STORM MANHOLE, INLETS
- PROPOSED SANITARY & STORM CLEANOUT
- PROPOSED SECURITY CAMERA



- SANITARY SEWER NOTES**
1. WHERE THE PIPELINE DEPTH (INVERT) EXCEEDS 12- FEET THE AUTHORITY WILL REQUIRE SDR-26 PVC PIPE.
 2. ALL PIPE MUST HAVE 3/4 INCH DIAMETER STONE PLACED UNDER THE PIPE AND UP TO AT LEAST THE SPRING LINE TO AVOID POTENTIAL BELLIES DURING CONSTRUCTION.
 3. THE AUTHORITY WILL REQUIRE C-900 PIPE FOR ALL LATERALS FROM A DEEP CONNECTION (10- FEET OR DEEPER). STONE MUST BE PLACED UNDER THE LATERAL PIPE TO ASSURE PROPER COMPACTION AND AVOID POTENTIAL SETTLEMENT. PLEASE REVIEW THE HARCO DEEP CONNECTION DETAILS FOR ADDITIONAL INFORMATION. C-900 CASING PIPE, SEWER RISER PIPE, AND C-900 LATERAL PIPE LAID AT LEAST TO UNDISTURBED SOIL FOR DEEP CONNECTION LATERALS. ALL FITTINGS MUST BE APPROVED AS REQUIRED.
 3. THREE (3) DAYS NOTIFICATION TO THE LANDIS SEWERAGE AUTHORITY PRIOR TO INITIATION OF WORK ON ALL SANITARY SEWER LINES IS REQUIRED. CALL ANTHONY TOBOLSKI AT 856-691-0551 EXT. 6250.
 5. BEFORE SEWER PIPE CAN BE INSTALLED, A PERFORMANCE SURETY MUST BE SUBMITTED TO AND APPROVED BY THE LANDIS SEWER AUTHORITY FOR THE AMOUNT OF THE SEWER IMPROVEMENT COSTS. WHEN INFRASTRUCTURE IS COMPLETE, PERFORMANCE SURETY CAN BE RETURNED WHEN REPLACED WITH A 15% OF THE CONSTRUCTION VALUE, 18 MONTH MAINTENANCE SURETY.
 6. PRIOR TO THE INSTALLATION OF SEWER PIPE, A LANDIS SEWERAGE AUTHORITY CERTIFICATE OF INSURANCE WILL BE REQUIRED BY THE AUTHORITY.
 7. UPON COMPLETION OF THE SEWER PORTION OF THE PROJECT, THE LANDIS SEWERAGE AUTHORITY WILL REQUIRE FIVE (5) COPIES OF AS-BUILT DRAWINGS. DRAWINGS MUST SHOW LATERAL LOCATIONS WITH RESPECT TO STATIONING, DEPTH AT CURB AREA OF LATERAL, AND LENGTH OF LATERAL. UPON APPROVAL OF AS-BUILT DRAWINGS, THE LANDIS SEWERAGE AUTHORITY WILL ISSUE ALLOCATION/CONNECTION PERMITS FOR THIS PROJECT.
 8. THE CONTRACTOR/DEVELOPER WILL TELEPHONE THE SANITARY SEWER LINE AFTER THE SYSTEM HAS BEEN PROPERLY AIR TESTED TO ENSURE THAT THERE ARE NO IRREGULARITIES OR DEFECTS. DIRT AND/OR DEBRIS IN THE SEWER MAIN IS THE RESPONSIBILITY OF THE CONTRACTOR FOR OBTAINING THE SERVICES OF A CONTRACTOR TO FLUSH THE SEWER MAIN AND REMOVE ALL GRIT, DIRT, AND DEBRIS THAT MAY EXIST. THE DOWNSTREAM MANHOLE SHALL BE PLUGGED SO DEBRIS DOES NOT ENTER THE AUTHORITY'S STREAM. PRIOR TO THE CONTRACTOR INITIATING FLUSHING OF THE SEWER MAIN, THE LANDIS SEWERAGE AUTHORITY MUST BE NOTIFIED 48 HOURS PRIOR TO WORK COMMENCING TO HAVE REPRESENTATION AVAILABLE TO OBSERVE THE FLUSHING OPERATION TO ENSURE NO GRIT, DIRT, OR DEBRIS ENTERS THE EXISTING LANDIS SEWERAGE AUTHORITY SYSTEM. THE APPLICANT WILL BE RESPONSIBLE FOR CORRECTING SAME AND PERFORMING ALL NECESSARY WORK TO ENSURE THAT THE SYSTEM IS IN ACCORDANCE WITH LANDIS SEWERAGE AUTHORITY AND NJDEP STANDARDS. THE COST OF \$25/LOAD OF WATER SHALL BE THE RESPONSIBILITY OF A DEVELOPER AND SUBTRACTED FROM THE ESCROW ACCOUNT.
 9. THE LANDIS SEWERAGE AUTHORITY RESERVE THE RIGHT TO USE ITS ENGINEERING JUDGMENT AS DEEMED APPROPRIATE TO MODIFY THE ABOVE RULES BASED ON UNUSUAL CIRCUMSTANCES AND FIELD CONDITIONS FOR SANITARY SEWER CONNECTION.

- VINELAND WATER UTILITY NOTES**
1. ALL WATER PIPING 4" AND LARGER SHALL BE CLASS 52 CEMENT-LINED DUCTILE IRON PIPE WITH PUSH-ON JOINTS CONFORMING TO ANSI/AWWA C909. MEGA LUG RETAINER GLANDS SHALL BE PROVIDED FOR D.I.P. FITTINGS. PIPING 3" AND SMALLER SHALL BE TYPE "K" COPPER TUBING WITH COMPRESSION FITTINGS. WATER PIPING SHALL BE DISINFECTED BY CONTACT WITH A CHLORINE SOLUTION NOT LESS THAN 50 PPM FOR NOT LESS THAN 24 HOURS. THE CONTRACTOR SHALL PERFORM WATER ANALYSIS TESTS TO ENSURE THAT THE WATER IS BACTERIOLOGICALLY SAFE AND THE CHLORINE RESIDUALS ARE AT ACCEPTABLE LEVELS.
 2. A NEUTRALIZING CHEMICAL SHALL BE APPLIED TO THE SUPER CHLORINATED WATER TO THOROUGHLY NEUTRALIZE THE RESIDUAL CHLORINE. THE CONTRACTOR SHALL CONTACT THE VINELAND WATER UTILITY PRIOR TO FLUSHING.
 3. ALL WATER PIPING TO BE PLACED AT A MINIMUM FINAL COVERAGE DEPTH OF 42", MAXIMUM 48".
 4. THRUST BLOCKS ARE TO BE INSTALLED AT ALL WATER MAIN BENDS. ALL FITTINGS AND GATE VALVES ARE TO BE SECURED WITH WEDGE-TYPE RETAINER GLANDS. BENDS ARE TO BE SECURED TO FULL LENGTHS OF PIPE. UTILIZE LOCKING GASKETS, IF REQUIRED.
 5. SEE VINELAND WATER UTILITY SPECS FOR INFORMATION REGARDING HYDROSTATIC TESTING OF WATER MAIN.
 6. THE VINELAND WATER UTILITY SHALL PROVIDE AND INSTALL THE 8" WET TAP AND 8" SOLID SLEEVE. THE CONTRACTOR SHALL CONNECT THE NEW 12" WATER MAIN TO THE REDUCER.
 7. THE FOLLOWING ITEMS ARE NEEDED BEFORE INSTALLATION OF WATER MAIN ON PROPOSED STREETS CAN PROCEED:
 - A. OBTAIN A WATER MAIN EXTENSION PACKAGE AT THE UTILITY OFFICE ON 330 E. WALNUT RD. ALL APPLICABLE FORMS MUST BE COMPLETED AND STATED FEES PAID.
 - B. CURBING IS TO BE INSTALLED PRIOR TO WATER MAIN INSTALLATION.
 - C. STAKE OUT LOCATION OF FIRE HYDRANTS. FIRE HYDRANTS SHALL BE A MINIMUM DISTANCE OF TWO FEET BEHIND THE FACE OF CURB. IF BELGIAN BLOCK IS INSTALLED, FIRE HYDRANTS SHALL BE A MINIMUM DISTANCE OF 1' BEHIND BACK EDGE OF BLOCK. HYDRANT LOCATION BASED UPON PROPOSED LOT LINES. HYDRANTS SHALL BE INSTALLED ON COMMON LOTS UNLESS OTHERWISE DIRECTED.
 8. FIRE HYDRANT BURY LINES SHALL MATCH FINISHED GRADE AFTER INSTALLATION. IF THE FIRE HYDRANT IS BELOW GRADE, THE APPROPRIATE EXTENSION MUST BE INSTALLED.
 9. AT CROSSINGS OF SANITARY AND WATER, THE SEWER SHALL BE AT LEAST 18" BELOW THE INVERT OF THE WATER MAIN. IF NOT POSSIBLE, ENCASE SANITARY WITH SIX INCHES OF FLOWABLE FILL 200 PSL FOR A DISTANCE OF TEN FEET ON BOTH SIDES OF CROSSING. DUCTILE IRON PIPE IS TO BE WRAPPED WITH 8 MIL POLYETHYLENE AT THE AREA OF CROSSING. ALL ENCASEMENTS MUST BE WITNESSED BY THE INSPECTOR PRIOR TO BACKFILL.
 10. IN DRAINAGE AREAS INCORPORATING PERFORATED PIPE, A LENGTH OF FOUR-INCH PVC SHALL BE SET IN THE STONE BED FOR EACH WATER SERVICE. THIS WILL ACT AS A SLEEVE AND ALLOW THE SERVICE TO BE INSTALLED WITHOUT DISTURBING THE STONE BED. THE SLEEVE SHALL EXTEND BEYOND THE STONE BED AND THE CURB STOP SHALL BE INSTALLED BETWEEN THE EDGE OF STONE AND PROPERTY LINE.
 11. LOCATION OF UTILITIES SHOWN ARE PLOTTED FROM INFORMATION FURNISHED BY THE UTILITY COMPANIES AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION BEGINS.
 12. PROPOSED WATER DESIGN SUBJECT TO FINAL APPROVED PLAN.
 13. ALL EXCAVATION SHALL BE DONE SUCH THAT SIDE WALLS OF TRENCHES SHALL BE KEPT VERTICAL. THE CONTRACTOR SHALL PROVIDE SHEETING, SHORING, BRACING, OR TRENCH BOXES TO CONFORM TO ALL APPLICABLE REQUIREMENTS OF THE NEW JERSEY CONSTRUCTION SAFETY CODE AND THE OCCUPATIONAL HEALTH AND SAFETY ACT.

UTILITY PLAN
PUBLIC WORKS FACILITY
 PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
 CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

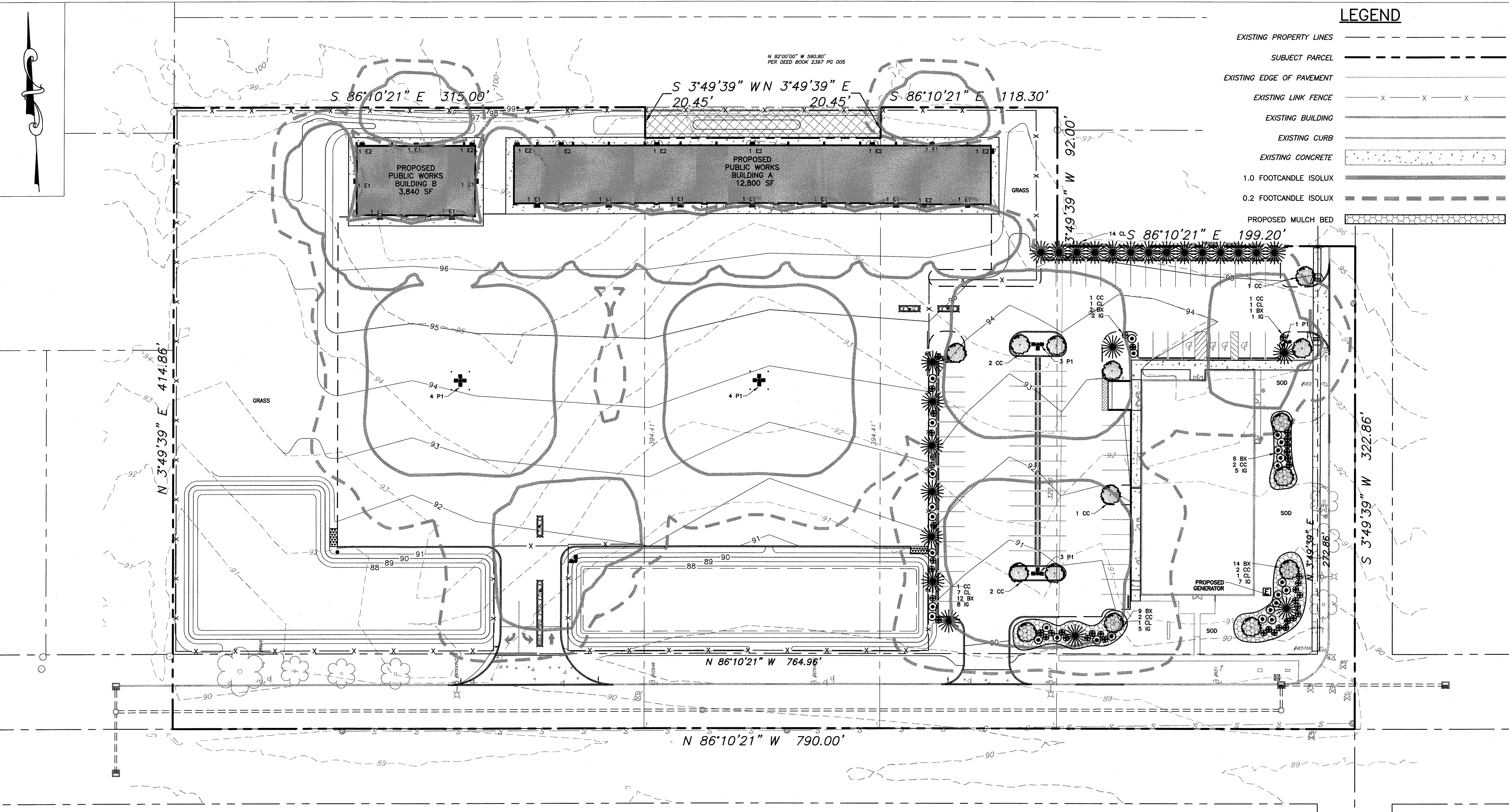
CITY OF VINELAND
 COUNTY OF CUMBERLAND STATE OF NEW JERSEY
 SCALE: 1"=30'
 DIVISION OF PLANNING AND FACILITIES DATE: 10/08/2024
 FILE #: DPF-2024-02 640 EAST WOOD STREET
 VINELAND, NEW JERSEY 08360

Ryan R. Headley
 Professional Engineer
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PHONE: (856) 794-4101 FAX: (856) 405-4606

ISSUED FOR BID	REVISIONS	DATE	BY	CHKD	DATE

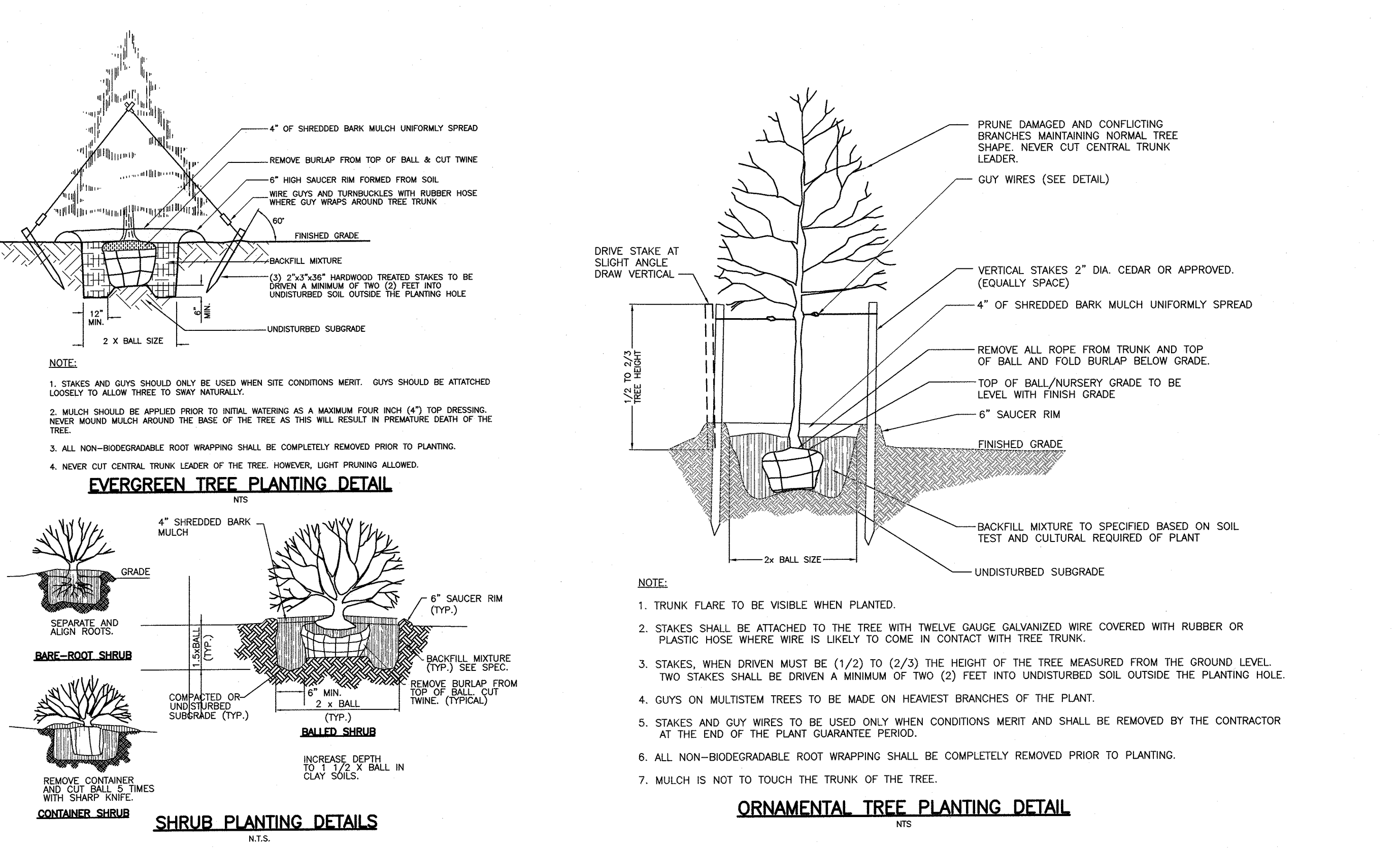
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 Design Checked By: JMS
 Design Drawn By: JMS
 Design By: JMS
 Final Check By: RRH
 Plotted: 11/02/2024 4:22 PM By: rheadley



LEGEND

EXISTING PROPERTY LINES	---
SUBJECT PARCEL	----
EXISTING EDGE OF PAVEMENT	----
EXISTING LINK FENCE	x x x
EXISTING BUILDING	=====
EXISTING CURB	=====
EXISTING CONCRETE	=====
1.0 FOOTCANDLE ISOLUX	=====
0.2 FOOTCANDLE ISOLUX	=====
PROPOSED MULCH BED	=====

- ### LANDSCAPE NOTES:
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF A LOAMY CHARACTER WITHOUT ADMIXTURE OF CLAY, HARDPAN, MULCH, MARL, SHELL, OR FINE SAND AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL BE FREE OF STONES, LUMPS, PLANTS OR THEIR ROOTS OR SEEDS, STICKS, AND OTHER EXTRANEIOUS MATTER AND SHALL CONTAIN NO SUBSTANCE OR MATERIAL INHIBITORY TO PLANT GROWTH.
 - ALL AREAS NOT MULCHED OR IMPERVIOUS SHALL BE SEEDED LAWN OR SOD AS NOTED ON THE SITE PLAN.
 - NURSERY GROWN SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF ONE-HALF INCH (1/2"), PLUS OR MINUS ONE QUARTER INCH (1/4"), AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. SOD SHALL BE IN ROLLS NO LESS THAN TWELVE INCHES (12") WIDE AND FOUR FEET (4') LONG AND NOT MORE THAN SIX FEET (6') LONG. GRASS BLADES WILL BE CUT TO A UNIFORM LENGTH. THE GRASS SHALL BE WELL ESTABLISHED (AT LEAST ONE YEAR OLD), VIGOROUS, HEALTHY, AND GROWING. IT SHALL BE FREE OFF DISEASE AND NOXIOUS PERENNIAL WEEDS. SOD SHALL BE OF GOOD AND HEALTHY COLOR WHEN DELIVERED. ROLLS AND STRIPS WILL BE FIRM AND SOLID WITHOUT CRUMBLING OR TEARING. SOD SHALL BE HARVESTED AND DELIVERED WITHIN A 36 HOUR PERIOD, AND ALL PRE-CAUTIONS MUST BE TAKEN TO PREVENT THE SOD FROM DRYING WHILE IN TRANSIT TO THE SITE.
 - GRASS SEED SHALL MEET THE REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF AGRICULTURE, AND NO "BELOW STANDARD" SEED WILL BE ACCEPTED. SEED SHALL BEAR THE GROWER'S GUARANTEE OF ANALYSIS. WET, MOLDY, OR OTHERWISE CONTAMINATED SEED SHALL BE REJECTED.
 - THE CONTRACTOR SHALL FLAG ALL UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO DIGGING AND STAKING.
 - ALL PLANTINGS SHALL CONFORM TO THE MOST RECENT EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK", AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - ALL PLANTINGS MUST BE GUARANTEED FOR A PERIOD OF TWO FULL GROWING SEASONS FROM THE TIME OF FINAL ACCEPTANCE BY THE TOWNSHIP. ALL TREES NOT SURVIVING TWO (2) YEARS SHALL BE REPLACED IN SIZE & TYPE. THE CONTRACTOR SHALL REMOVE STAKING, GUYING, AND WRAP AT THE END OF THE GUARANTEED PERIOD.
 - ALL REQUIRED PLANTINGS SHALL BE GUARANTEED FROM THE DATE OF PLANTING UNTIL THE CITY ACCEPTS ALL IMPROVEMENTS IN THE DEVELOPMENT AND THE PLANTINGS SHALL BE CERTIFIED TO BE ALIVE AND HEALTHY BY THE CITY PRIOR TO THE EXPIRATION OF THE GUARANTEE PERIOD.
 - ALL SHADE TREES PROPOSED ALONG STREETS SHALL BE LOCATED A MINIMUM OF FIVE (5) FEET OUTSIDE THE RIGHT-OF-WAY UNLESS NOTED OTHERWISE.
 - ALL TREES SHALL BE TYPICAL OF THEIR SPECIES AND/OR VARIETY, HAVING WELL-DEVELOPED BRANCHES AND HEALTHY ROOT SYSTEMS. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, AND FREE FROM DEFECTS, DISFIGURING KNOTS, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT EGGS, BORERS, AND ALL OTHER FORMS OF INFECTION.
 - ALL TREES AND PLANTS SHALL BE NURSERY GROWN AND SHALL BE TAGGED WITH NURSERY LABELS INDICATING THE SPECIES AND VARIETY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADE AND ALIGNMENT.
 - PERFORM PLANTING ONLY DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH LOCAL ACCEPTED PRACTICES.
 - AREAS AROUND ALL PLANTINGS SHALL RECEIVE A MINIMUM LAYER OF 4" OF SHREDDED BARK MULCH. BARK MULCH SHALL BE SPLINTERED DECORATIVE PINE BARK. NO MULCH SHALL BE MOUNDING AROUND THE BASE OF ANY PLANTS AS THIS WILL RESULT IN THE PREMATURE DEATH OF THE PLANT.
 - CONTRACTOR SHALL PARTIALLY FILL WITH WATER A REPRESENTATIVE NUMBER OF PITS IN EACH AREA OF THE PROJECT PRIOR TO PLANTING TO DETERMINE IF THERE IS ADEQUATE PERCOLATION. IF PERCOLATION DOES NOT OCCUR, MEASURES SHALL BE TAKEN TO ASSURE PROPER DRAINAGE BEFORE PLANTING.
 - FOR THE CONSTRUCTION OF THIS LANDSCAPING PLAN, THE CONTRACTOR SHALL COMPLY WITH ALL REGULATIONS, STANDARDS, AND SPECIFICATIONS REQUIRED BY APPLICABLE ORDINANCES.
 - ALL PLANTINGS AND OTHER LANDSCAPING IMPROVEMENTS SHALL BE ASSURED. SUCH GUARANTEE SHALL BE RELEASED ONLY AFTER PASSAGE OF THE SECOND GROWING SEASON FOLLOWING PLANTING.
 - ANY PORTION OR PART OF A SITE WHICH IS NOT USED FOR BUILDINGS, OTHER STRUCTURES, LOADING AND PARKING SPACES AND AISLES, OTHER PAVING, SIDEWALKS AND DESIGNATED STORAGE AREAS SHALL BE PLANTED WITH AN ALL-SEASON GROUND COVER. TREES AND SHRUBS OR SHALL BE LEFT IN ITS NATURAL STATE, ALL AS SET FORTH IN THE LANDSCAPE PLAN AND APPROVED BY THE APPROVING AUTHORITY.
 - DURING THE CONSTRUCTION ON ANY SITE, TREES AND SHRUBS SHALL BE PROTECTED TO INSURE THAT THERE IS NOT ENCROACHMENT WITHIN THE AREA OF THEIR DRIP-LINE BY CHANGING GRADE, TRENCHING, STOCKPIILING, OR BUILDING MATERIALS OR TOPSOIL, OR THE COMPACTION OF THE SOIL AND ROOTS BY ANY MOTOR VEHICLE.
 - IF ANY PLANT MATERIAL IS TO BE REMOVED, IT MUST BE DONE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK", AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - ALL DISEASED OR DEAD TREES SHALL BE PROMPTLY REMOVED FROM THE SITE.
 - THE SCREEN PLANTING SHALL BE SO PLACED THAT AT MATURITY IT WILL NOT BE CLOSER THAN THREE (3) FEET FROM ANY STREET OR PROPERTY LINE.
 - ALL INORGANIC/NON-BIODEGRADABLE MATERIAL(S) SHALL BE REMOVED FROM THE ROOTBALL OF ANY TREE, EVERGREEN, SHRUB AND PLANT PRIOR TO PLANTING.
 - ALL SHADE, ORNAMENTAL, AND EVERGREEN TREES SHOULD BE INSTALLED A MINIMUM OF TEN (10) FEET FROM ANY ABOVE/UNDERGROUND UTILITY OR STORM SEWER LINES.
 - ALL SHADE, ORNAMENTAL, AND EVERGREEN TREES SHOULD BE PLANTED A MINIMUM OF FIVE (5) FEET FROM ANY SIDEWALK OR DRIVEWAY.
 - IN THE EVENT THAT ANY DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED ON THE LANDSCAPE PLAN AND THOSE GRAPHICALLY DEPICTED ON THE PLANS, THE PLANT QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.



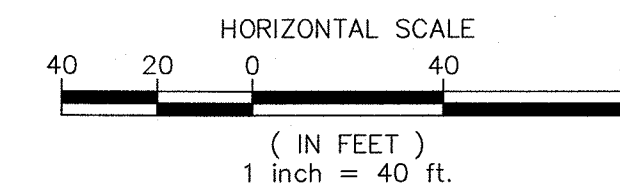
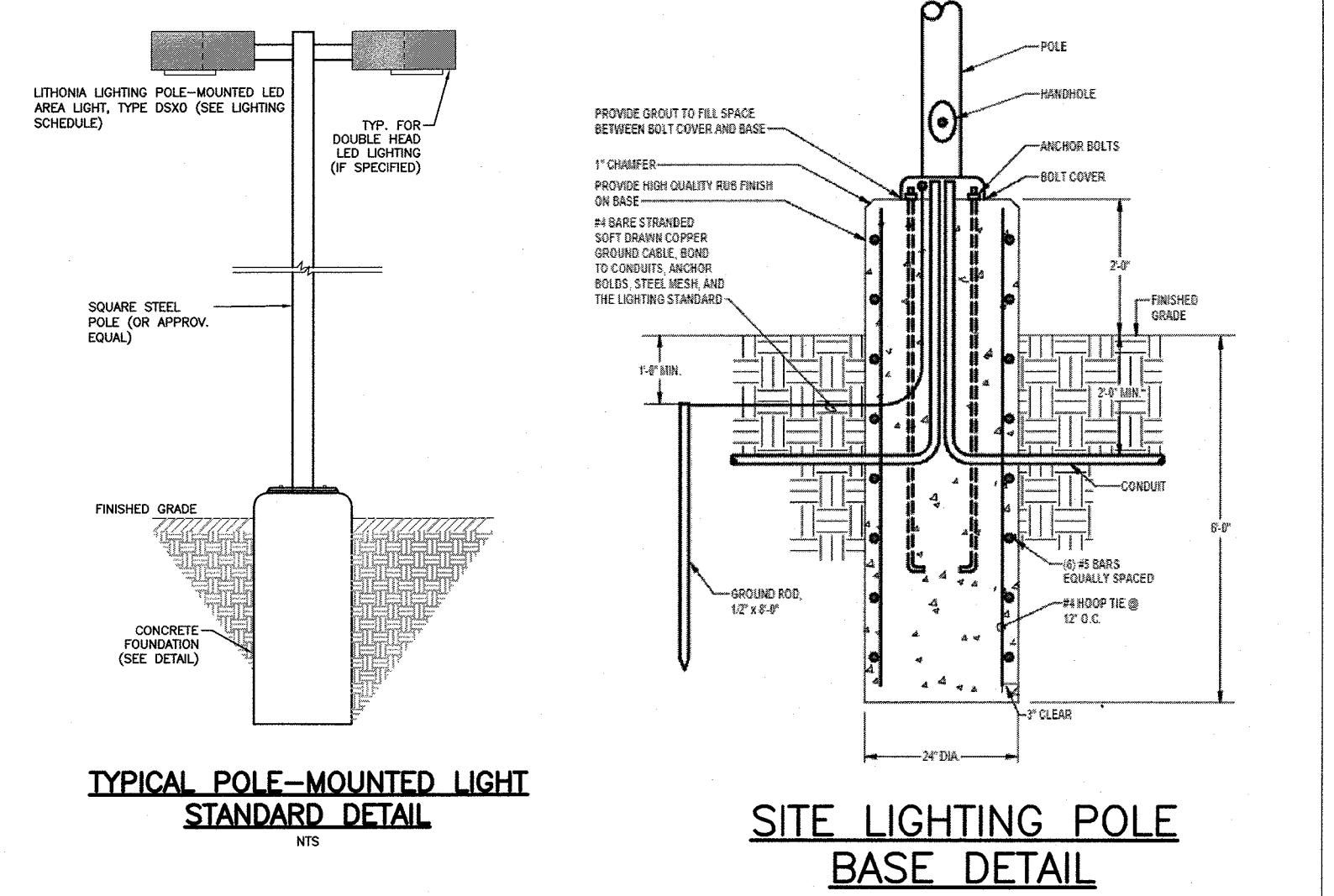
LANDSCAPING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIBER	COMMENT
ORNAMENTAL TREES						
☉	15	CERCIS CANADENSIS L.	EASTERN REDBUD	6-8 FT	NA	B & B
EVERGREEN TREES						
☀	25	CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	5-6' FT	NA	B & B
EVERGREEN SHRUBS						
⊕	44	BUXUS 'WINTER GEM'	WINTER GEM BOXWOOD	18-24 IN	NA	B & B
●	28	ILEX GLABRA DENSA	COMPACT INKBERRY	18-24 IN	NA	B & B

LIGHTING SCHEDULE

SYMBOL	QUANTITY	PRODUCT DESCRIPTION	MANUFACTURER	SERIES	LAMP TYPE	MOUNTING HEIGHT
P1	19	26"L x 13"W x 3"H ALED AREAS SITE LIGHTING FIXTURE WITH DIE-CAST ALUMINUM HOUSING WITH POWDER COAT FINISH, ACRYLIC LENS, MEDIUM FORWARD THROW LIGHT DISTRIBUTION, HEAT SINK FINS, AND UL LISTED FOR WET LOCATION. PROVIDE COMPLETE WITH ALL REQUIRED MOUNTING HARDWARE. PROVIDE WITH 20 FOOT STRAIGHT SQUARE STEEL POLE. POLE AND LIGHTING FIXTURE SHALL BE DARK BRONZE COLOR	LITHONIA	DSXO LED P6 40K 1FTM MVOLT SPA PIRH DBLXD	LED 4000K	20'
E1	13	9" x 18" ARCHITECTURAL WALL SCONCE, ALUMINUM HOUSING, DARK BRONZE POWDER COAT FINISH, ACRYLIC LENS, WITH EMERGENCY BATTERY PACK AND MOTION SENSOR.	LITHONIA	WDGE3-LED-P2-40K-80CR-R4-MVOLT-SRM-PIRH-DOBXD	LED 4000K	15'
E2	9	9" x 11.5" ARCHITECTURAL WALL SCONCE, ALUMINUM HOUSING, DARK BRONZE POWDER COAT FINISH, ACRYLIC LENS, WITH EMERGENCY BATTERY PACK AND MOTION SENSOR.	LITHONIA	WDGE2-LED-P2-40K-80CR-T4M-MVOLT-SRM-E20WC-DM G-PIRH-DOBXD	LED 4000K	9'

- ### NOTES:
- ALL GRASSED OR SODDED AREAS SHALL BE IRRIGATED. AN IRRIGATION PLAN SHALL BE PROVIDED BY A CERTIFIED IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE IRRIGATION PLAN.
 - ADDITIONAL LIGHTING DETAILS AND SPECIFICATIONS CAN BE FOUND IN THE ARCHITECTURAL DRAWINGS. IN THE EVENT OF A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND CIVIL DRAWINGS, THE ARCHITECTURAL DRAWINGS SHALL TAKE PRECEDENCE.



LANDSCAPE & LIGHTING PLAN

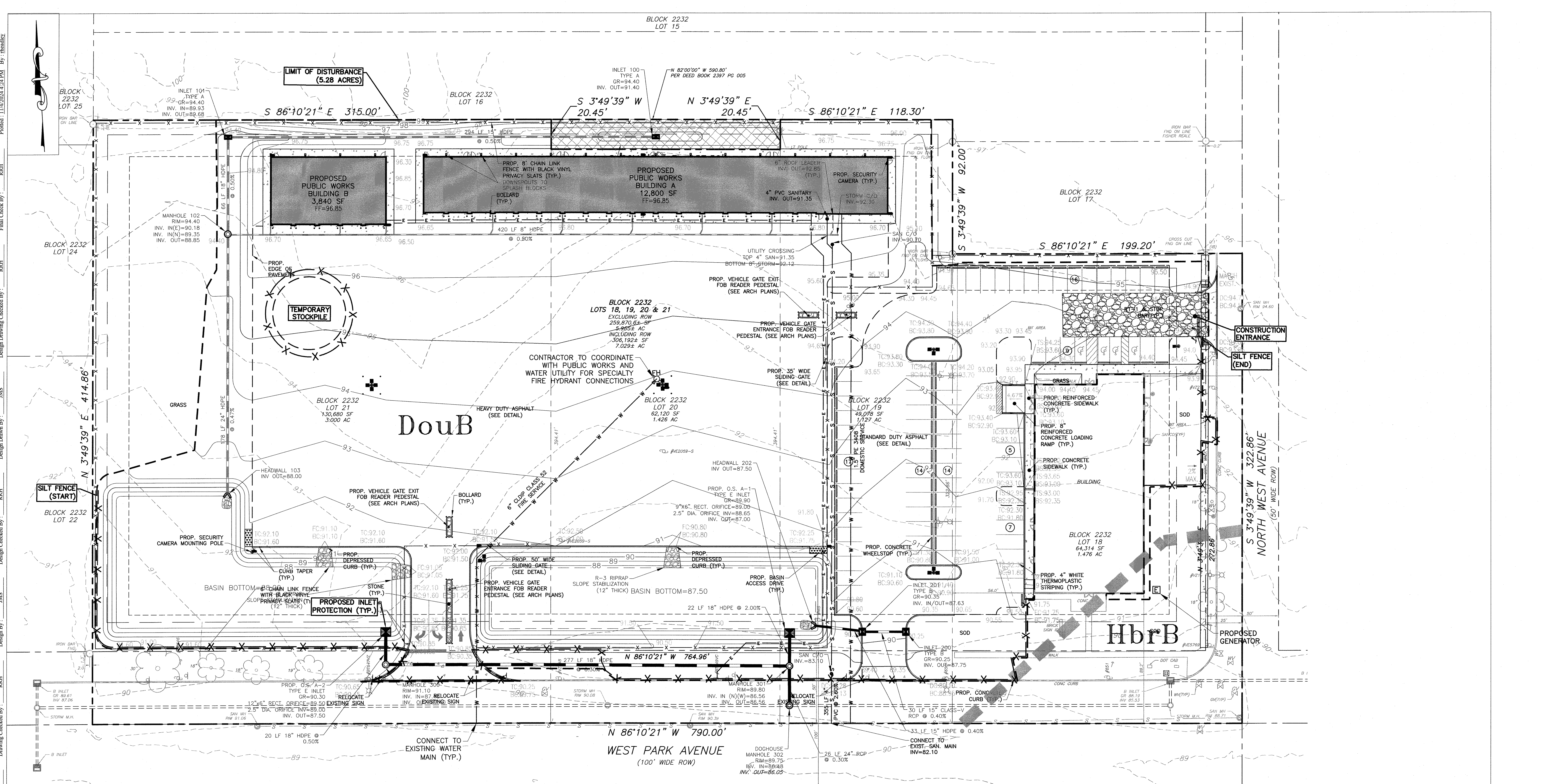
PUBLIC WORKS FACILITY
 PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
 CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

CITY OF VINELAND
 COUNTY OF CUMBERLAND STATE OF NEW JERSEY
 SCALE: 1"=40'
 DIVISION OF PLANNING AND FACILITIES
 FILE #: DPF-2024-02
 640 EAST WOOD STREET
 VINELAND, NEW JERSEY 08360
 DATE: 10/08/2024

ISSUED FOR BID
 REVISIONS
 JMS RRH
 DATE
 CKCD

RYAN R. HEADLEY
 Professional Engineer
 N.J. License No. 24GE03211800
 PHONE: (856) 794-4101 FAX: (856) 405-4606

6
 11



LEGEND

EXISTING PROPERTY LINES	---	PROPOSED SIDEWALK	---
SUBJECT PARCEL	---	PROPOSED SOIL BOUNDARY	---
EXISTING EDGE OF PAVEMENT	---	PROPOSED CONST. ENTRANCE	---
EXISTING LINK FENCE	X X X	PROPOSED INLET PROTECTION	---
EXISTING BUILDING	---	PROPOSED SUPER SILT FENCE	X X X
EXISTING CURB	---	PROPOSED LIMIT OF DISTURBANCE	---
EXISTING CONCRETE	---	SOIL TYPE - URBAN LAND TILL SUBSTRATUM	---
PROPOSED BUILDING	---	SOIL TYPE - URBAN LAND WET SUBSTRATUM	---
PROPOSED CURB	---		
PROPOSED STRIPING	---		

DouB
HbrB

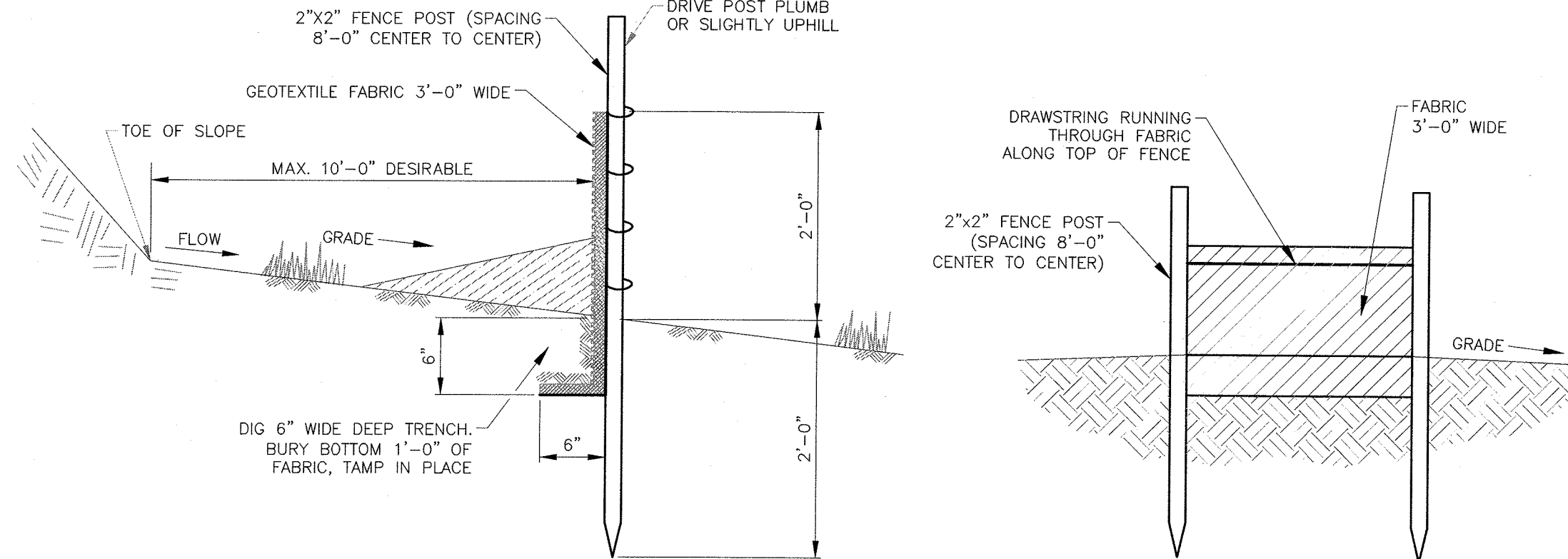
EROSION & SEDIMENT CONTROL PLAN
PUBLIC WORKS FACILITY
 PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
 CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

CITY OF VINELAND
 COUNTY OF CUMBERLAND STATE OF NEW JERSEY
 SCALE: 1"=30'
 DIVISION OF PLANNING AND FACILITIES DATE: 10/08/2024
 FILE #: DPF-2024-02
 640 EAST WOOD STREET
 VINELAND, NEW JERSEY 08360
 RYAN R. HEADLEY
 Professional Engineer
 N.J. License No. 24GE05211800
 PHONE: (856) 794-4101 FAX: (856) 405-4606

CONSTRUCTION SCHEDULE AND PROCEDURE FOR IMPLEMENTATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES

	DURATION
1. INSTALL CONSTRUCTION ENTRANCE, SILT FENCE AND INLET PROTECTION.	1 WEEK
2. CLEAR, DEMO EXISTING SITE, GRADE AND PREPARE BUILDING PAD.	2 WEEKS*
3. CLEAR AND ESTABLISH ROUGH GRADES AS NECESSARY TO ESTABLISH SITE DRAINAGE PATTERNS.	4 WEEKS*
4. INSTALL ALL UNDERGROUND UTILITIES.	3 WEEKS*
5. CONSTRUCT BUILDING.	16 WEEKS*
6. CONSTRUCT SITE AMENITIES (CURB, SIDEWALK, ETC.).	4 WEEKS*
7. CONSTRUCT CURB AND PAVEMENT SUB-BASE.	2 WEEKS*
8. ESTABLISH FINISHED GRADE, PLACE SUBWAYS, SPREAD AND FINE GRADE TOPSOIL AND ESTABLISH PERMANENT VEGETATIVE COVER.	4 WEEKS
9. REMOVE ACCESS PROTECTION, AND SILT FENCE AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.	1 WEEK
10. FINAL PAVE PARKING AREAS, AND COMPLETE LANDSCAPING.	2 WEEKS

*TASKS MAY OCCUR CONCURRENTLY

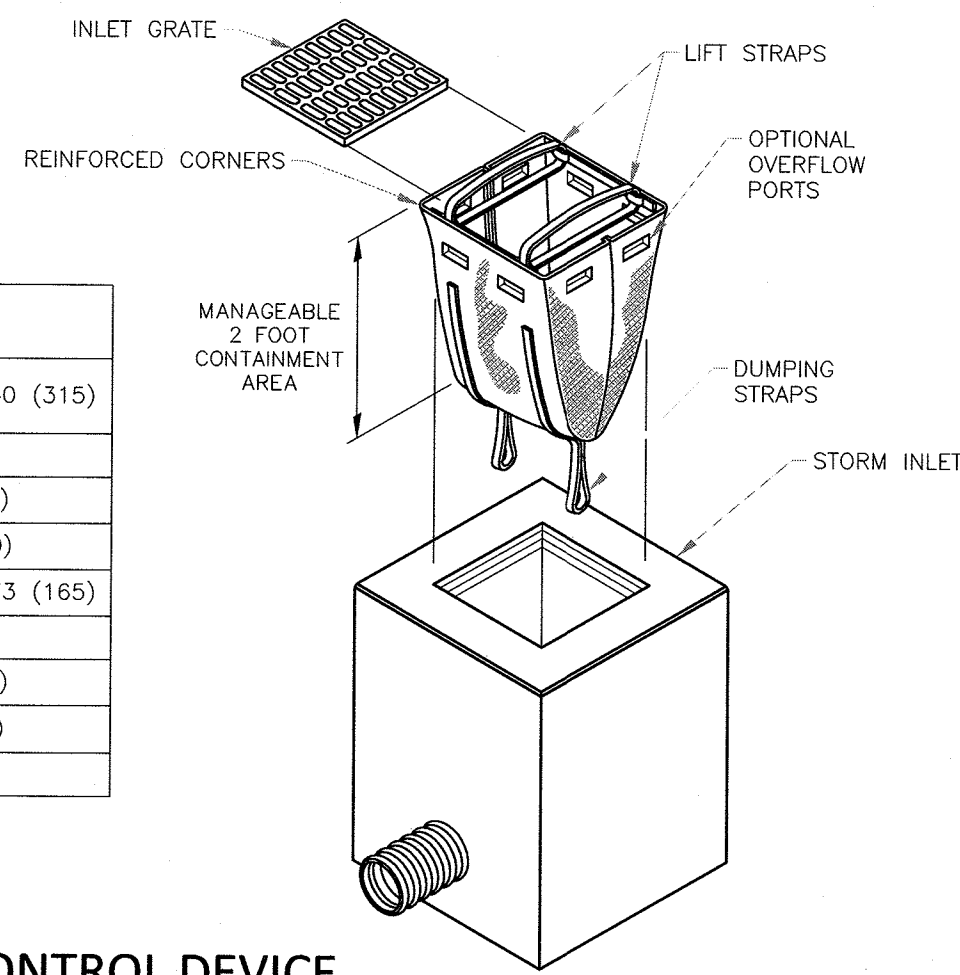


NOTE:

- THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC, FOUR TO SIX FASTENERS PER POST.
- BURY BOTTOM 1'-0" OF GEOTEXTILE AND TAMP IN PLACE.
- SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS SPECIFIED. SPLICING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
- SET SILT FENCE WITHIN PROJECT LIMITS. 10'-0" IS DESIRABLE.

SILT FENCE

NTS



MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	kN (lbs)	1.78 (400) x 1.40 (315)
GRAB TENSILE ELONGATION	ASTM D 4632	%	15 x 15
PUNCTURE STRENGTH	ASTM D 4833	kN (lbs)	0.67 (150)
MULLEN BURST STRENGTH	ASTM D 3786	kPa (psi)	5506 (800)
TRAPAZOID TEAR STRENGTH	ASTM D 4533	kN (lbs)	0.67 (150) x 0.73 (165)
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	Mm (US STD SIEVE)	0.425 (40)
FLOW RATE	ASTM D 4491	l/min/M ² (GAL/MIN/FT ²)	2852 (70)
PERMITTIVITY	ASTM D 4491	SEC	0.90

NOTES:

- APPROPRIATE SIZE CONTROL DEVICE SHOULD BE USED FOR ALL INLETS.
- CONTROL DEVICE SHOULD BE DANDY SACK AS MANUFACTURED BY DANDY PRODUCTS OR APPROVED EQUAL.

INLET SEDIMENT CONTROL DEVICE

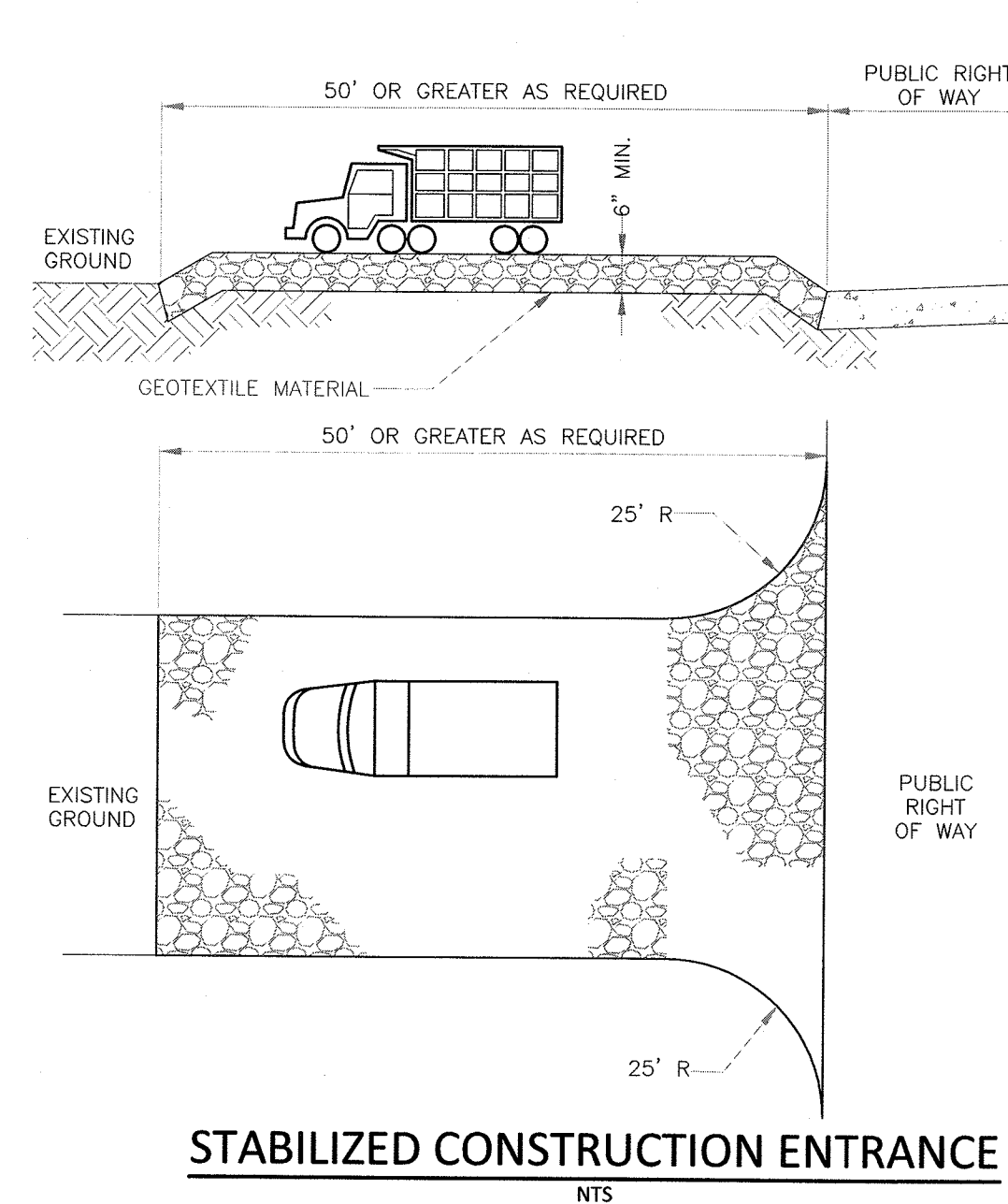
NTS

TEMPORARY SEEDING:

- THE FOLLOWING SURFACES OF THE SITE SHALL BE TEMPORARILY SEEDED AND MULCHED:
 - THE SURFACE OF TOPSOIL STOCKPILES.
 - THE SURFACE OF EXPOSED EARTH AREAS THAT WILL BE EXPOSED WITHOUT CONSTRUCTION ACTIVITY THEREON.
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. IF SEED IS DRILLED OVER BANDED FERTILIZER, THE RATE OF FERTILIZER IS REDUCED 50%. APPLY LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES) AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET FOR SANDY LOAM, LOAM OR SILT LOAM. PULVERIZED DOLOMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW BRUNSWICK-TRENTON LINE.
- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM SEEDBED IS PREPARED.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AS ABOVE.
- SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE SEEDBED PREPARATION. THE ADDED SOIL SHALL BE LIMED AS ABOVE.
- SEEDING SHALL OCCUR IMMEDIATELY AFTER ESTABLISHMENT OF THE TOPSOIL STOCKPILES OR ROUGH GRADED AREAS. THE FOLLOWING SHALL BE PLANTED: 50% WINTER CEREAL RYEGRASS AT 50 POUNDS PER ACRE 50% PERENNIAL RYEGRASS AT 50 POUNDS PER ACRE
- APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. THE LATTER MAY BE JUSTIFIABLE FOR LARGE, STEEP AREAS WHERE CONVENTIONAL VEHICLES CANNOT TRAVEL. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH THE SEED, EXCEPT FOR DRILLED, HYDROSEEDER OR CULTIPACKER SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 - 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
- AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD, WHEN PREFERRED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

PERMANENT SEEDING:

- PERMANENT SEEDING SHALL OCCUR IMMEDIATELY AFTER THE FINAL GRADING IS COMPLETED. THE FOLLOWING SEED SHALL BE PLACED UNLESS OTHERWISE SPECIFIED ON THE PLANS OR DIRECTED IN THE FIELD. SEE LANDSCAPE PLAN SHEET 5, A (1). ON LAWN AREAS, AREAS DESIGNATED AS LAWN, OR DISTURBED AREAS NOT DESIGNATED FOR ANY OTHER PLANTING SHALL BE PERMANENTLY STABILIZED BY SEEDING WITH THE FOLLOWING SEED MIXTURE AT A RATE OF 160 POUNDS PER ACRE. 120 LBS/ACRE HARD FESCUE 30 LBS/ACRE CREEPING FESCUE 10 LBS/ACRE PERENNIAL RYEGRASS SEEDING DATES FOR THIS MIXTURE SHALL BE MARCH 1 TO NOVEMBER 15.
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS THOSE OFFERED BY RUTGERS UNIVERSITY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE OFFICE. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1000 SQUARE FEET OF 10-20-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOPDRESSING. APPLY LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDES) AT A RATE OF 135 POUNDS PER 1000 SQUARE FEET FOR SANDY LOAM, LOAM, OR SILT LOAM. PULVERIZED DOLOMITIC LIMESTONE IS PREFERRED FOR MOST SOILS SOUTH OF THE NEW BRUNSWICK-TRENTON LINE.
- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SANDS SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION. REMOVE ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS, OR OTHER UNSUITABLE MATERIAL.
- INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS ABOVE.
- SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE SEEDBED PREPARATION. THE ADDED SOIL SHALL BE LIMED AS ABOVE.
- SEE **TEMPORARY SEEDING NOTES** G. AND H.
- SEE **TEMPORARY MULCHING NOTES**
- IRRIGATION (WHERE FEASIBLE) - IF SOIL MOISTURE IS DEFICIENT, AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED.) THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
- TOPDRESSING (IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THIS FOLLOW-UP TOPDRESSING IS NOT MANDATORY.) SPRING SEEDINGS WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10. FALL SEEDINGS WILL REQUIRE THE ABOVE BETWEEN MARCH 15 AND MAY 1. MIXTURES DOMINATED BY WEEPING LOVEGRASS OR LEGUMES MAY NOT NEED TOPDRESSING. BERMUDAGRASS SHOULD BE TOPDRESSED BEFORE AUGUST 15.



STABILIZED CONSTRUCTION ENTRANCE

NTS

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED JULY 2017, EFFECTIVE DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, MAY BE REQUIRED TO BE TEMPORARILY MULCHED, AND SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER AS PER APPENDIX A3. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING THE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE CUMBERLAND-SALEM SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPSCD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION, GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SLUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 6.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, EFFECTIVE DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2 - 1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT.
- THE CUMBERLAND-SALEM SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

SOIL COMPACTION EXEMPTION NOTE:

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGRASS. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NUDEP AS "PREVIOUSLY DEVELOPED".

MAINTENANCE PROGRAM:

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION STABILIZATION, AND MAINTENANCE OF ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE PROPER CONSTRUCTION AND STABILIZATION OF PERMANENT CONTROL MEASURES AND RELATED ITEMS INCLUDED WITHIN THIS PLAN. THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PERMANENT CONTROL MEASURES. SOIL SEDIMENT REMOVED FROM ANY TEMPORARY CONTROL MEASURE DURING REGULAR MAINTENANCE WILL BE INCORPORATED BACK INTO THE EARTHWORK AS FILL ON THE SITE. SOIL SEDIMENT MATERIAL SHALL BE DISTRIBUTED ON-SITE WITHOUT CHANGING DRAINAGE PATTERNS DURING A SPECIFIC CONSTRUCTION STAGE. SILT FENCE INSTALLED ON THE PROJECT SITE SHALL BE MAINTAINED AS FOLLOWS:

- THE FENCE CONDITION WILL BE INSPECTED ONCE A WEEK OR AFTER EVERY STORM EVENT, WHICHEVER COMES FIRST. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.
- ACCUMULATED SEDIMENTS WILL BE REMOVED WHEN THEY HAVE REACHED A DEPTH OF 1/2 THE BARRIER HEIGHT.
- UNDERCUTTING OR EROSION OF THE TOE ANCHOR WILL BE REPLACED IMMEDIATELY WITH ROCK FILTER OUTLETS.
- ANY MANUFACTURER'S RECOMMENDATIONS WILL BE ADHERED TO FOR REPLACING FILTER FABRIC FENCE DUE TO WEATHERING.

THE CONSTRUCTION ENTRANCE WILL BE INSPECTED AT THE END OF EACH WORK DAY. THE THICKNESS WILL BE CONSTANTLY MAINTAINED TO A MINIMUM OF 6 INCHES BY ADDING ROCK. STOCKPILES OF ROCK MATERIAL WILL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ANY SEDIMENT DEPOSITED ON PUBLIC ROADWAYS, WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF THE ROADWAY WITH WATER WILL NOT BE PERMITTED.

STANDARD FOR DUST CONTROL:

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1.

VEGETATIVE COVER - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1.

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	TYPE OF NOZZLE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPREAD			APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, PG. 26-1
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE FLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

NO.	DATE	BY	REVISIONS
1	10/18/24	JMS	ISSUED FOR BID
2	10/18/24	RRH	REVISED

EROSION & SEDIMENT CONTROL DETAILS

PUBLIC WORKS FACILITY

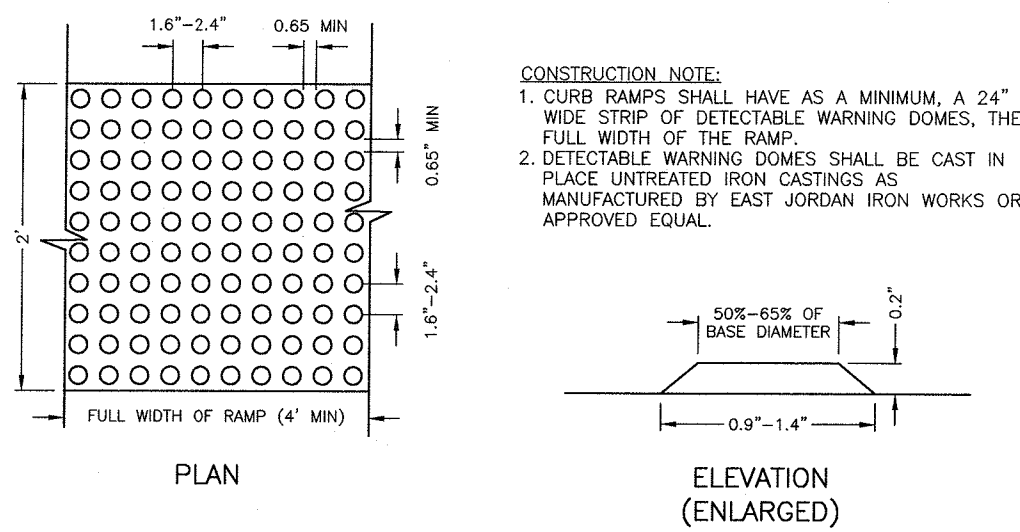
PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

CITY OF VINELAND

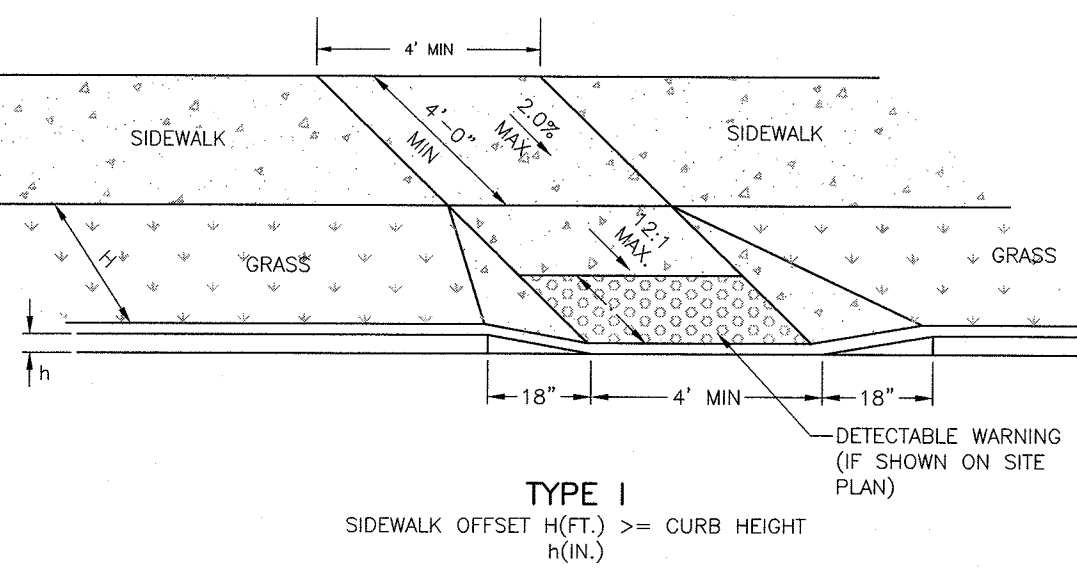
COUNTY OF CUMBERLAND STATE OF NEW JERSEY

SCALE: N.T.S. DIVISION OF PLANNING AND FACILITIES DATE: 10/08/2024
FILE #: DPF-2024-02 640 EAST WOOD STREET VINELAND, NEW JERSEY 08360

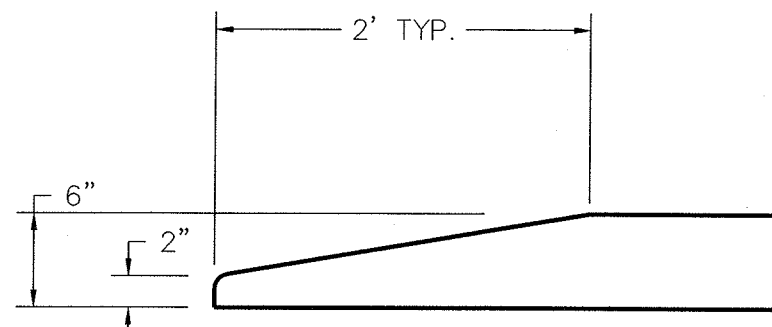
Ryan R. Headley
Professional Engineer
N.J. License No. 24GE05211800 PHONE: (856) 794-1011 FAX: (856) 405-4606



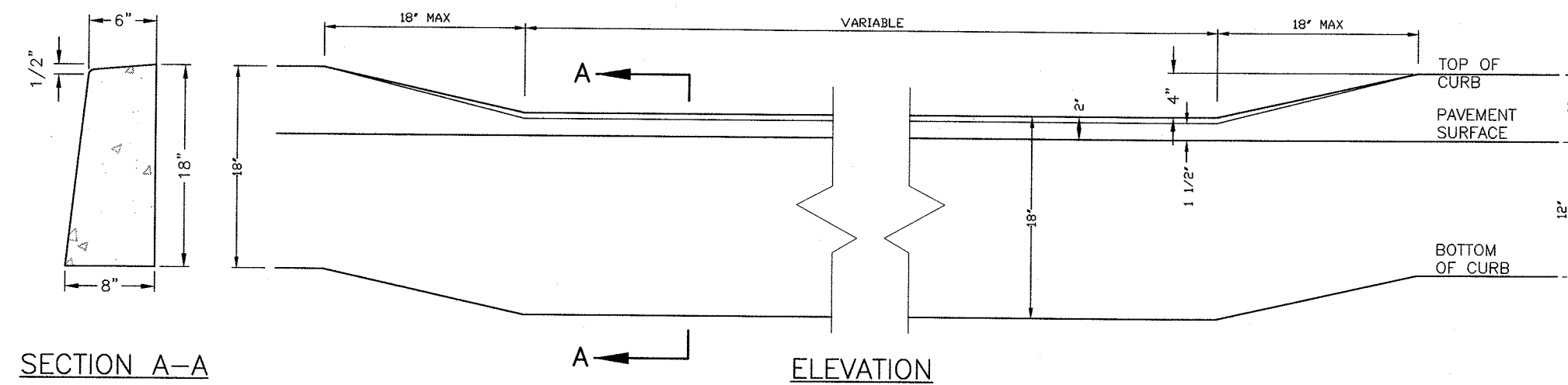
DETECTABLE WARNING DETAIL



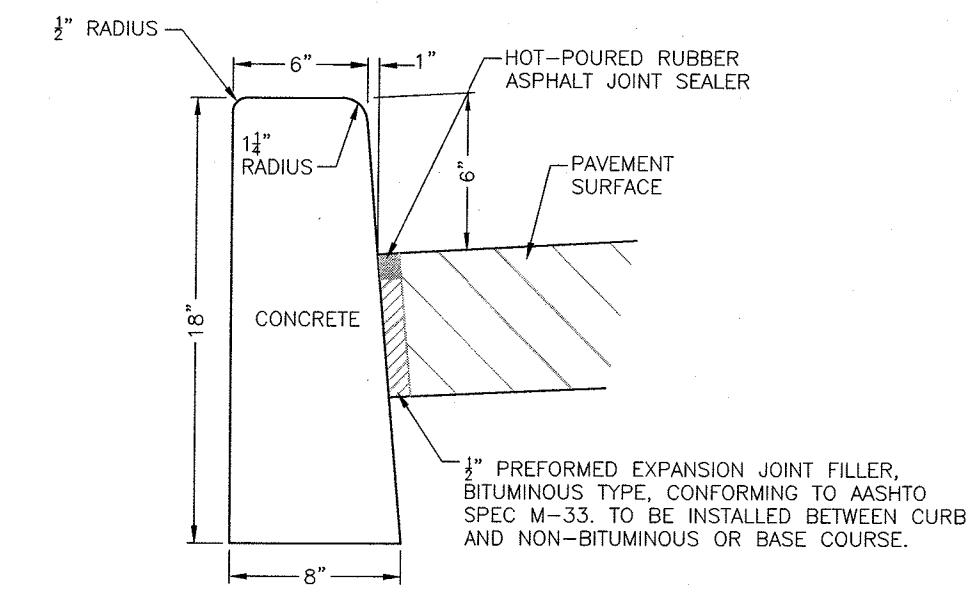
HANDICAP RAMP DETAILS



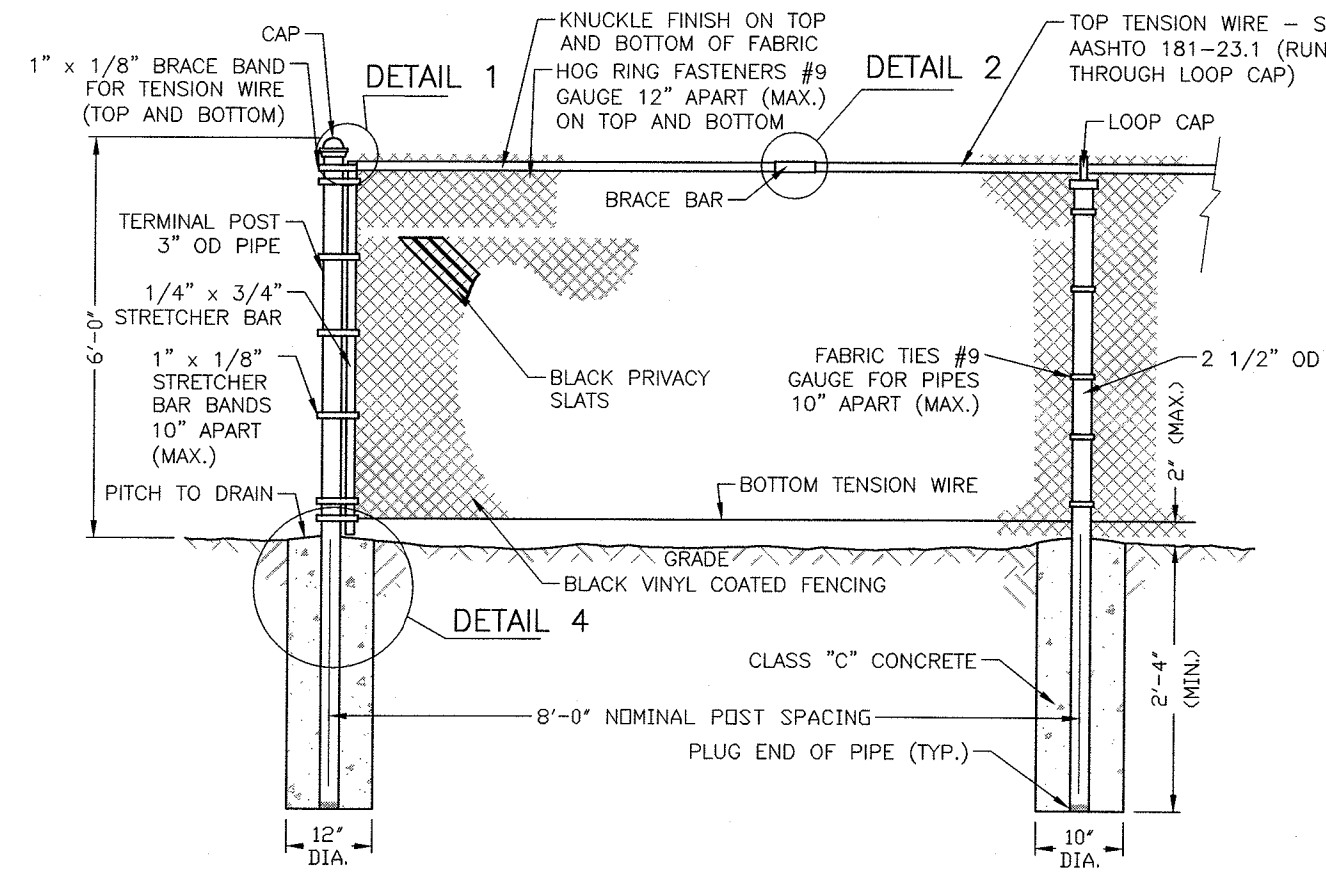
CURB END TREATMENT



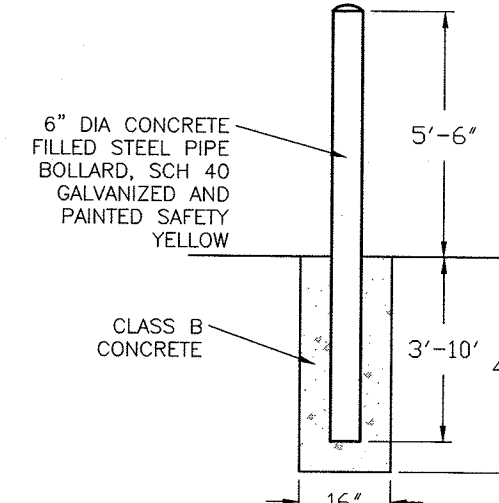
DEPRESSED CURB DETAIL



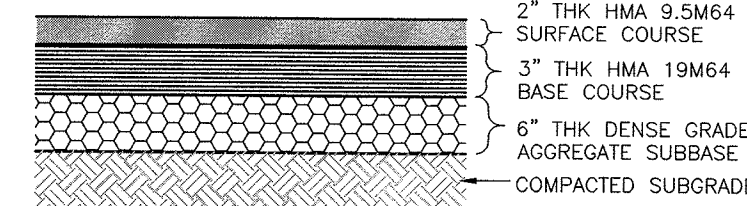
CONCRETE VERTICAL CURB



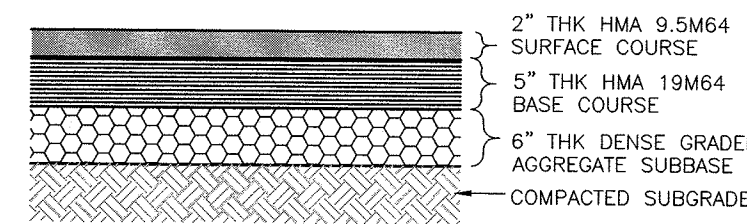
6' HIGH CHAIN-LINK FENCE WITH PRIVACY SLATS



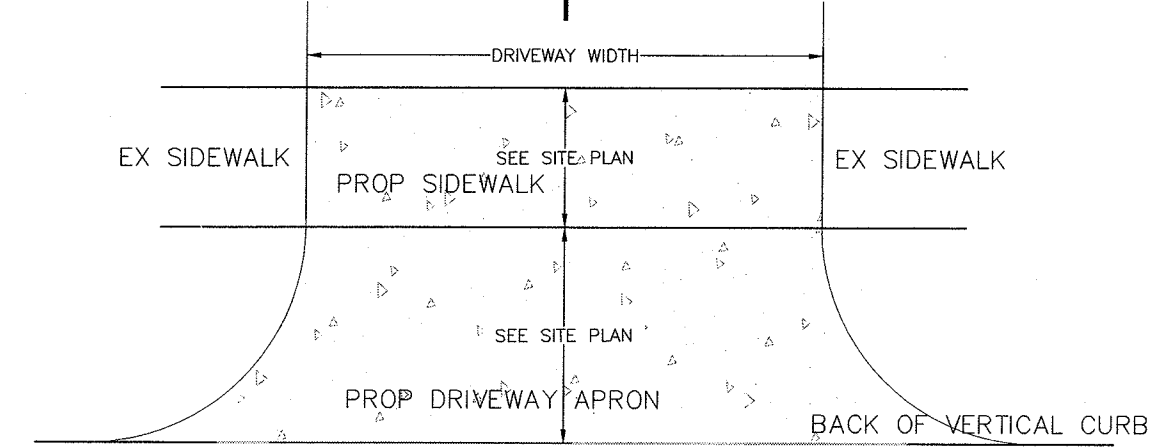
BOLLARD DETAIL



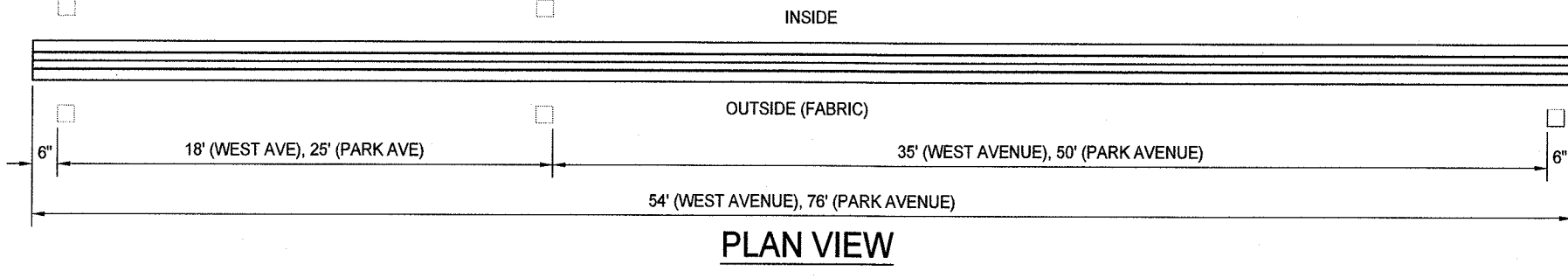
STANDARD DUTY ASPHALT PAVING SECTION (PARKING AREA)



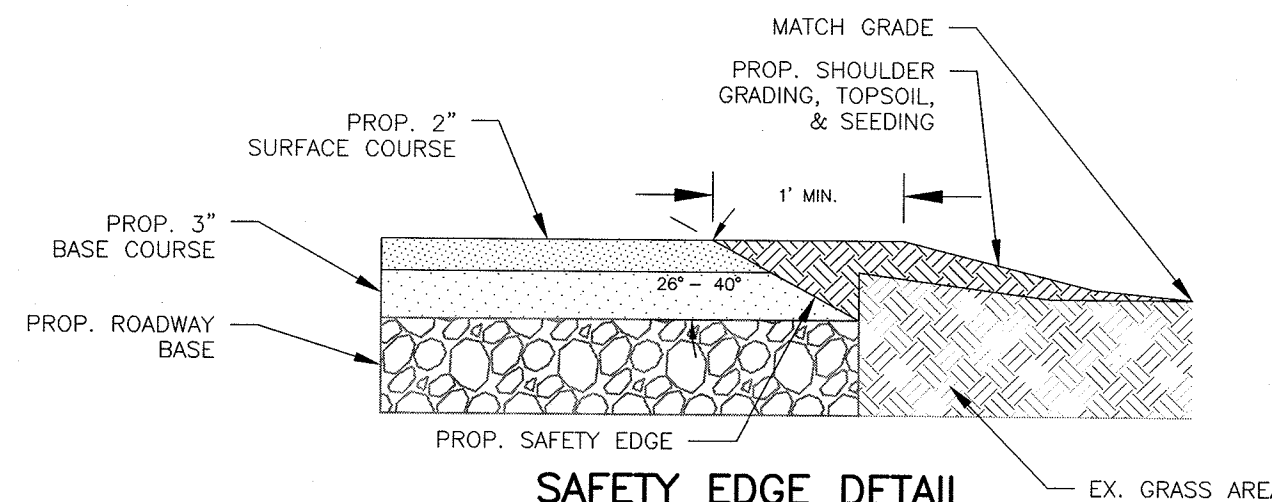
HEAVY DUTY ASPHALT PAVING SECTION (DRIVE AISLE)



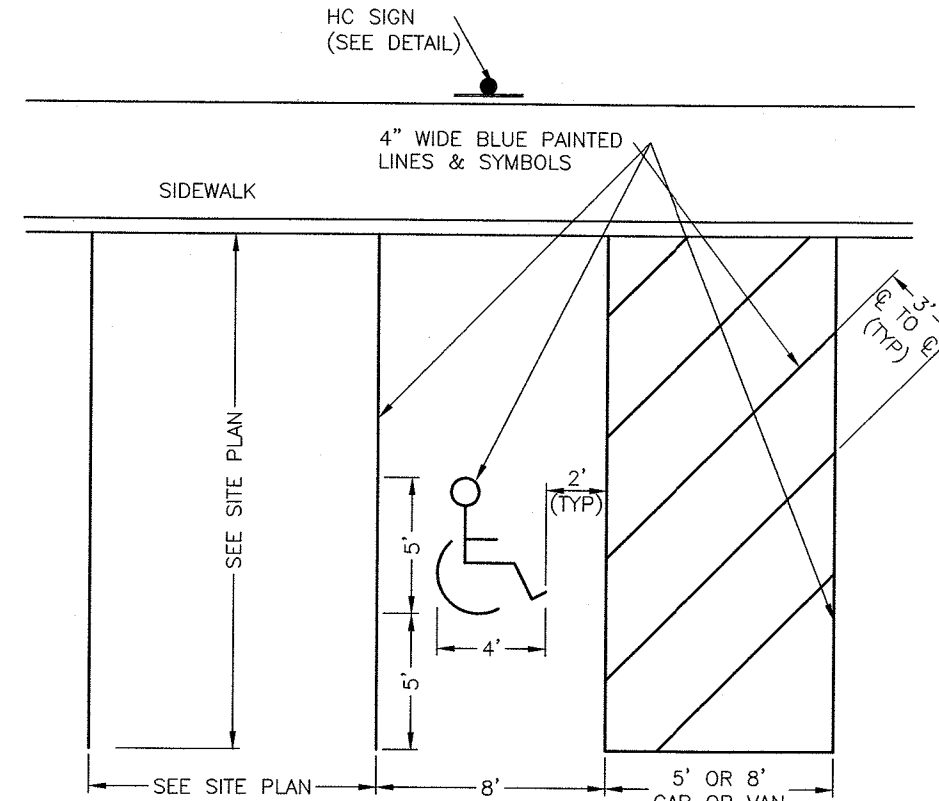
DRIVEWAY APRON DETAIL



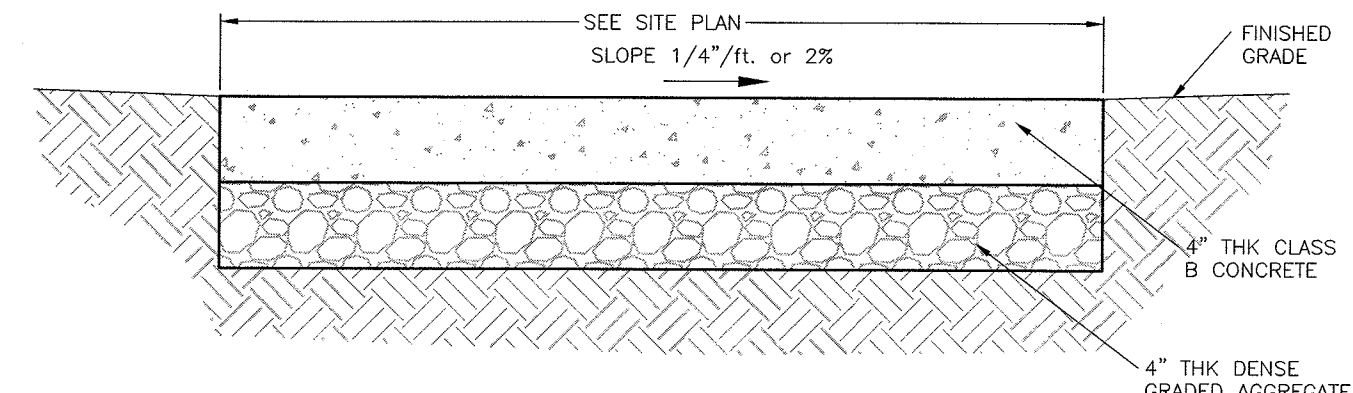
PLAN VIEW



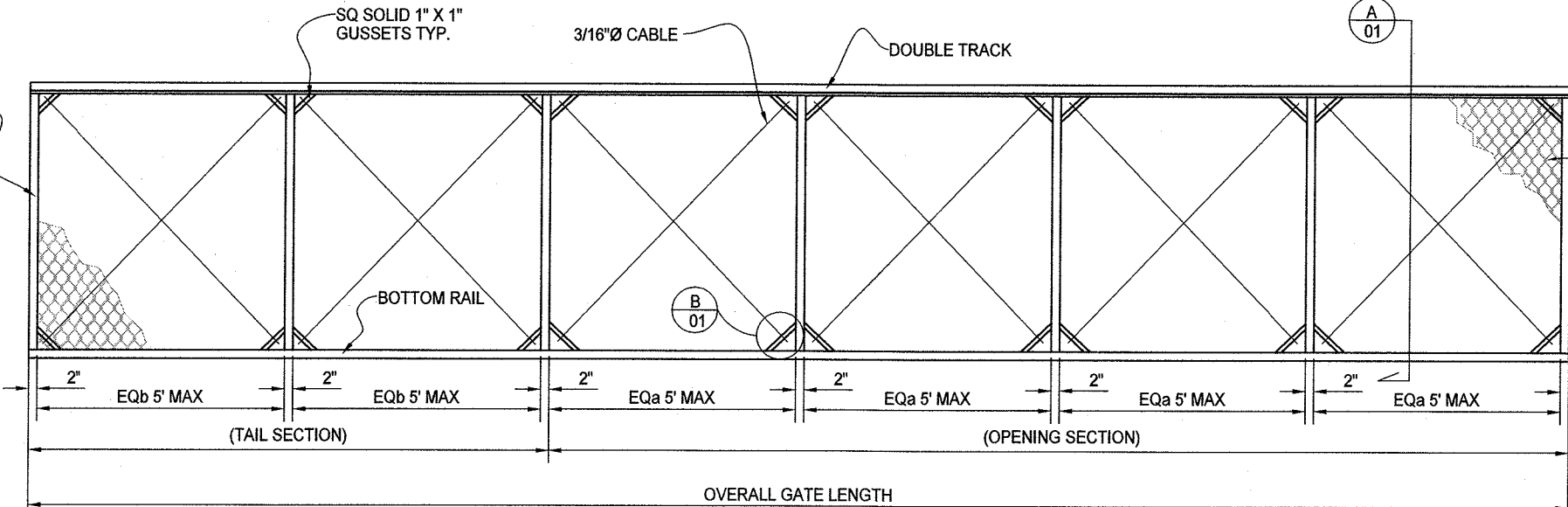
SAFETY EDGE DETAIL



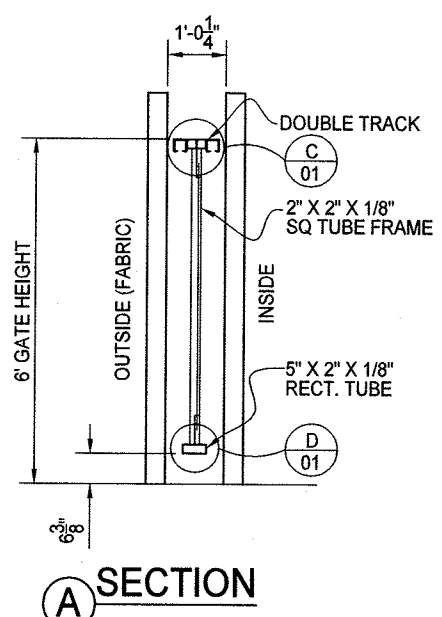
HANDICAP PARKING DETAIL



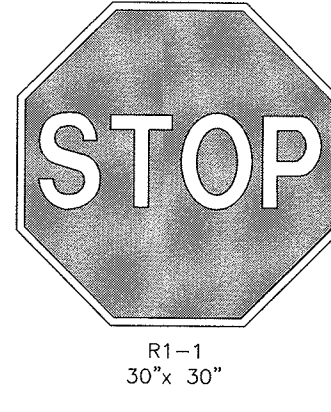
CONCRETE SIDEWALK



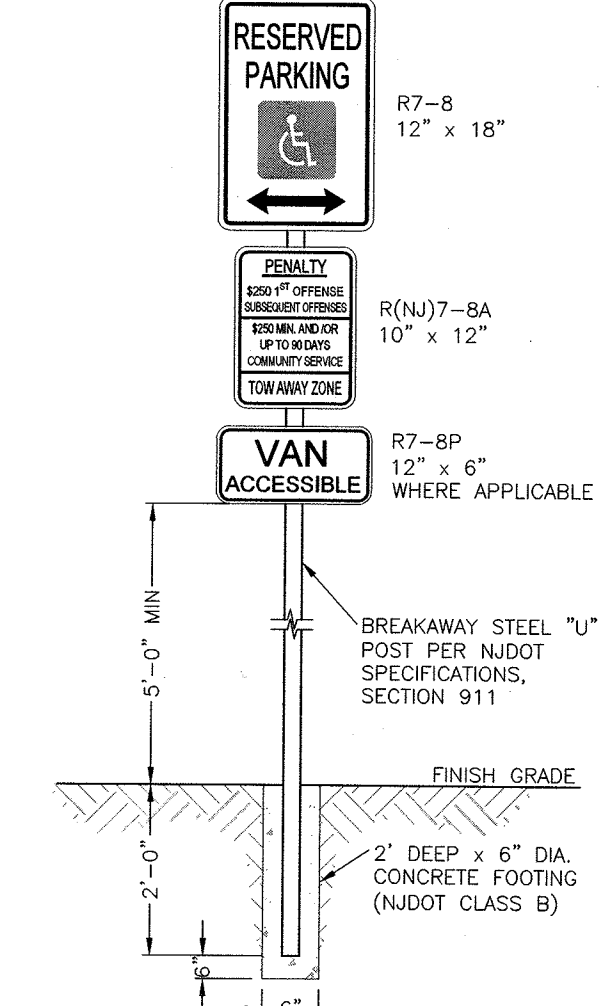
ELEVATION VIEW ALUMINUM CANTILEVER GATE OUTSIDE LOOKING IN



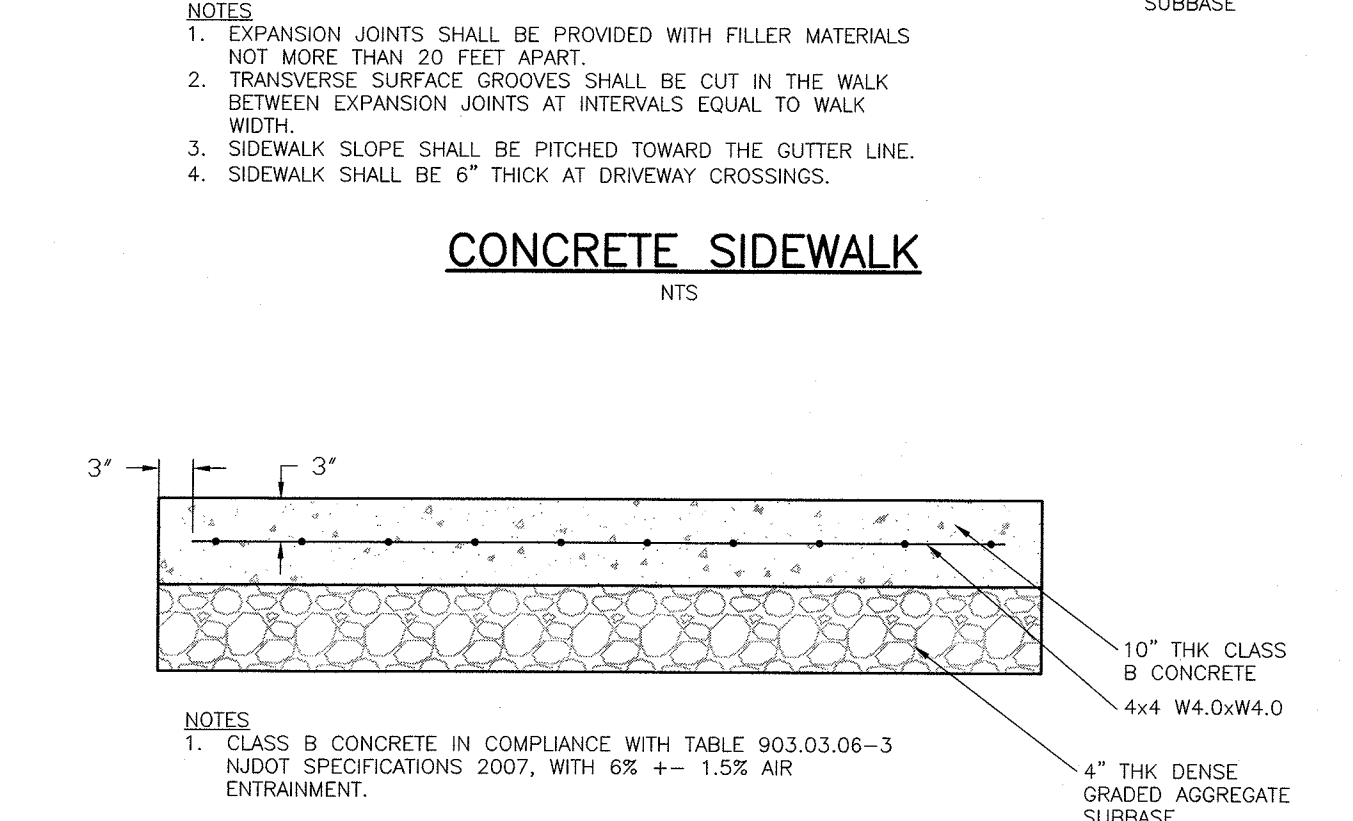
GATE RECEIVER DETAIL



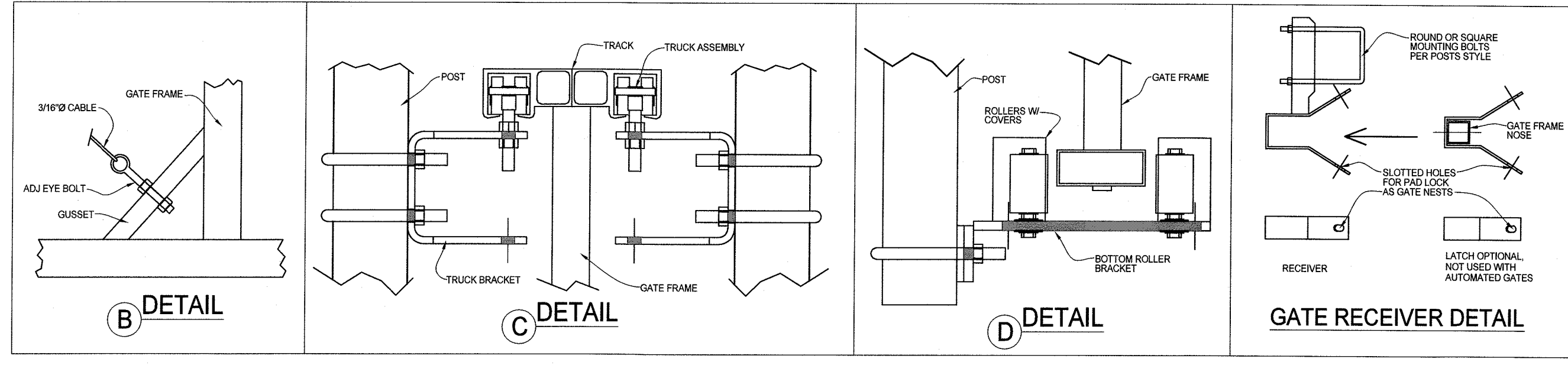
TRAFFIC SIGN POST DETAIL



HANDICAPPED SIGN DETAIL



HEAVY DUTY CONCRETE DETAIL



SLIDING GATE DETAIL

SITE DETAILS I
PUBLIC WORKS FACILITY
 PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
 CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

CITY OF VINELAND
 COUNTY OF CUMBERLAND STATE OF NEW JERSEY
 SCALE: N.T.S. DIVISION OF PLANNING AND FACILITIES DATE: 10/08/2024
 FILE #: DPF-2024-02 640 EAST WOOD STREET VINELAND, NEW JERSEY 08360

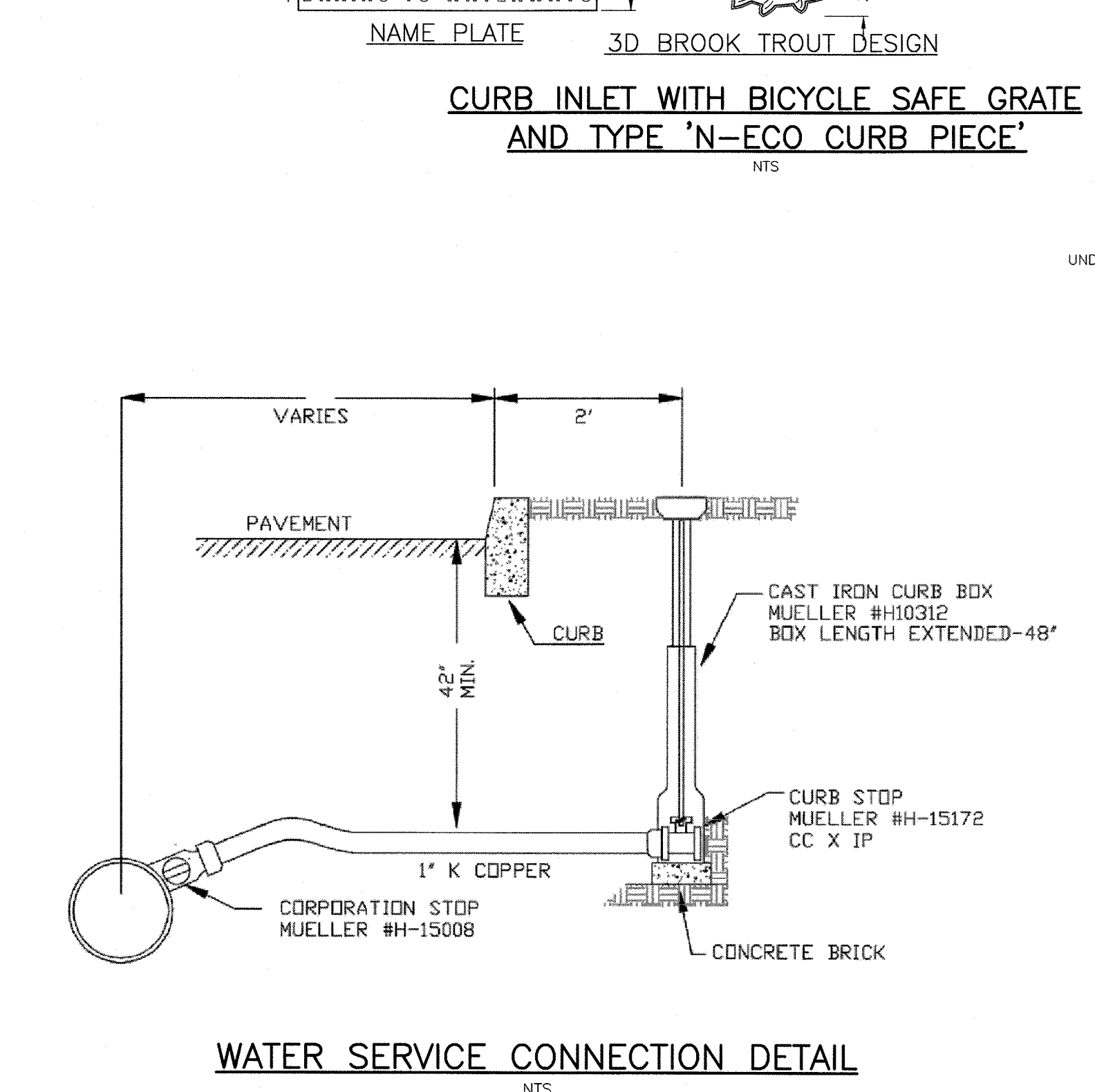
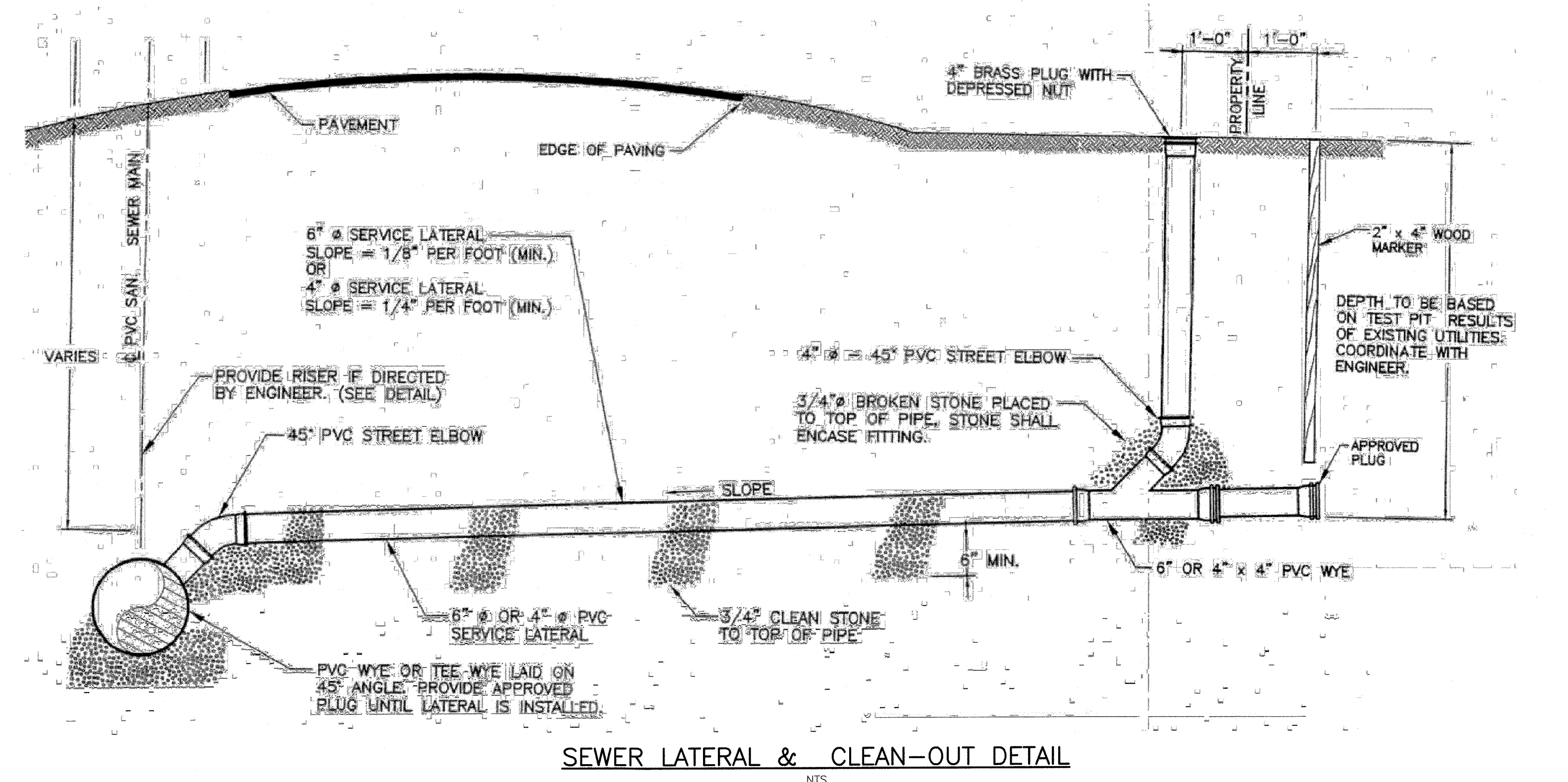
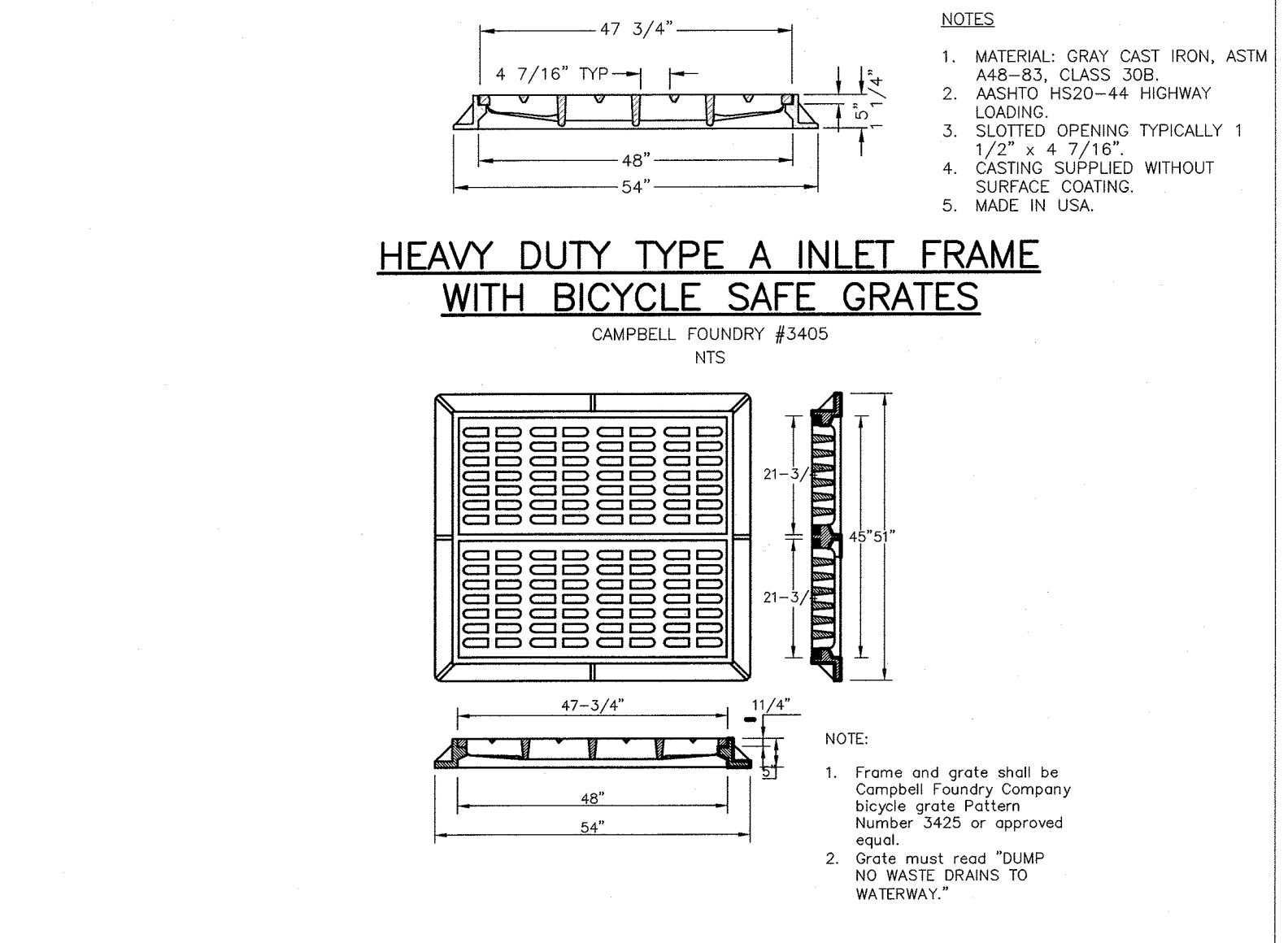
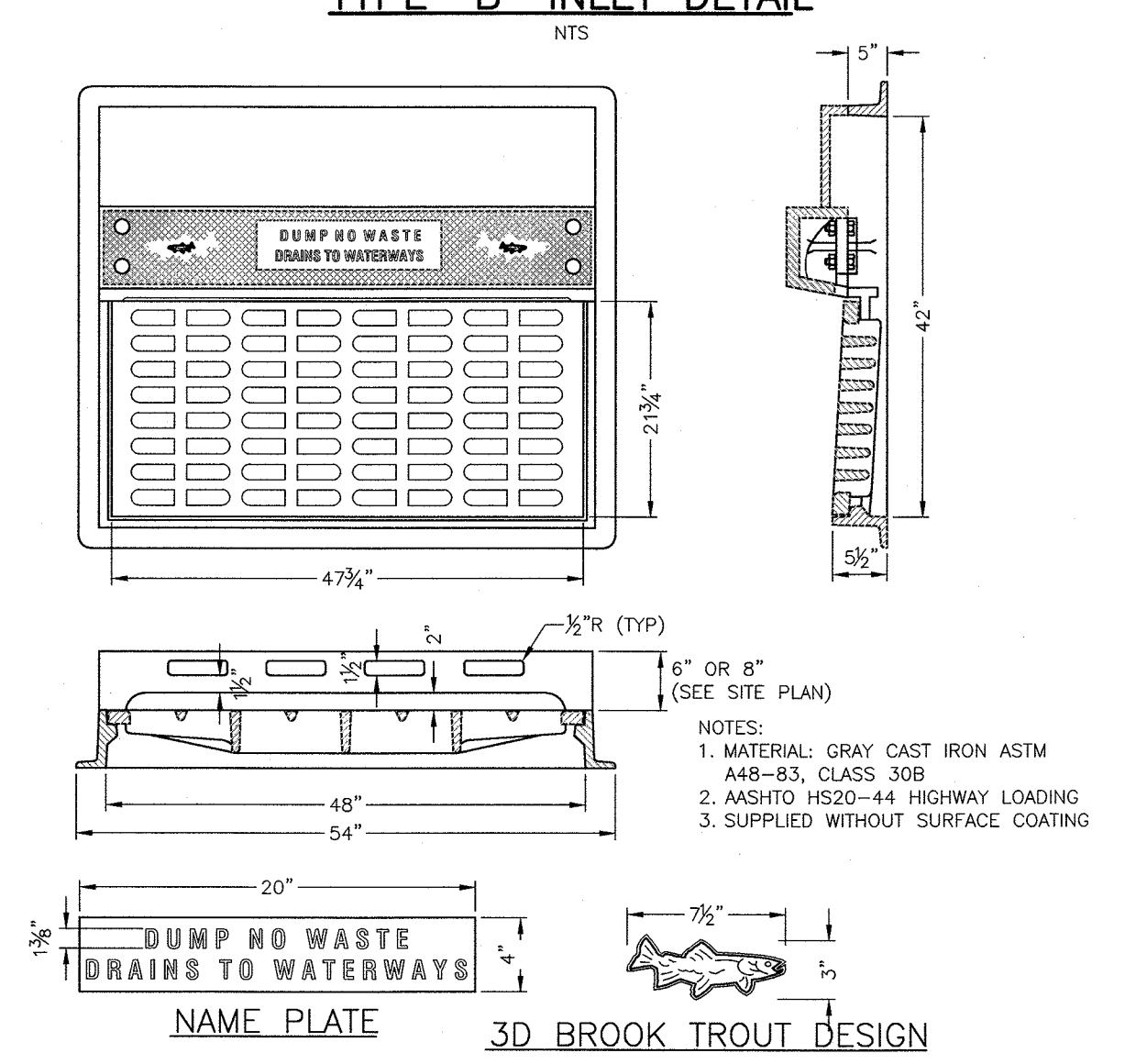
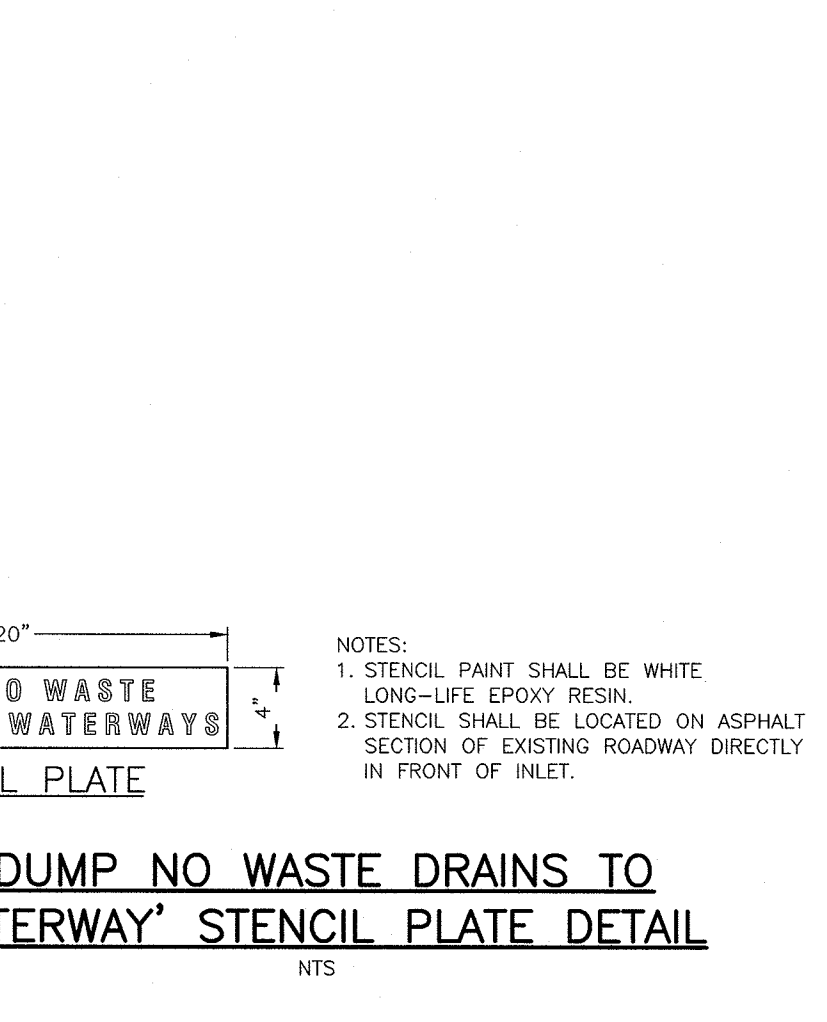
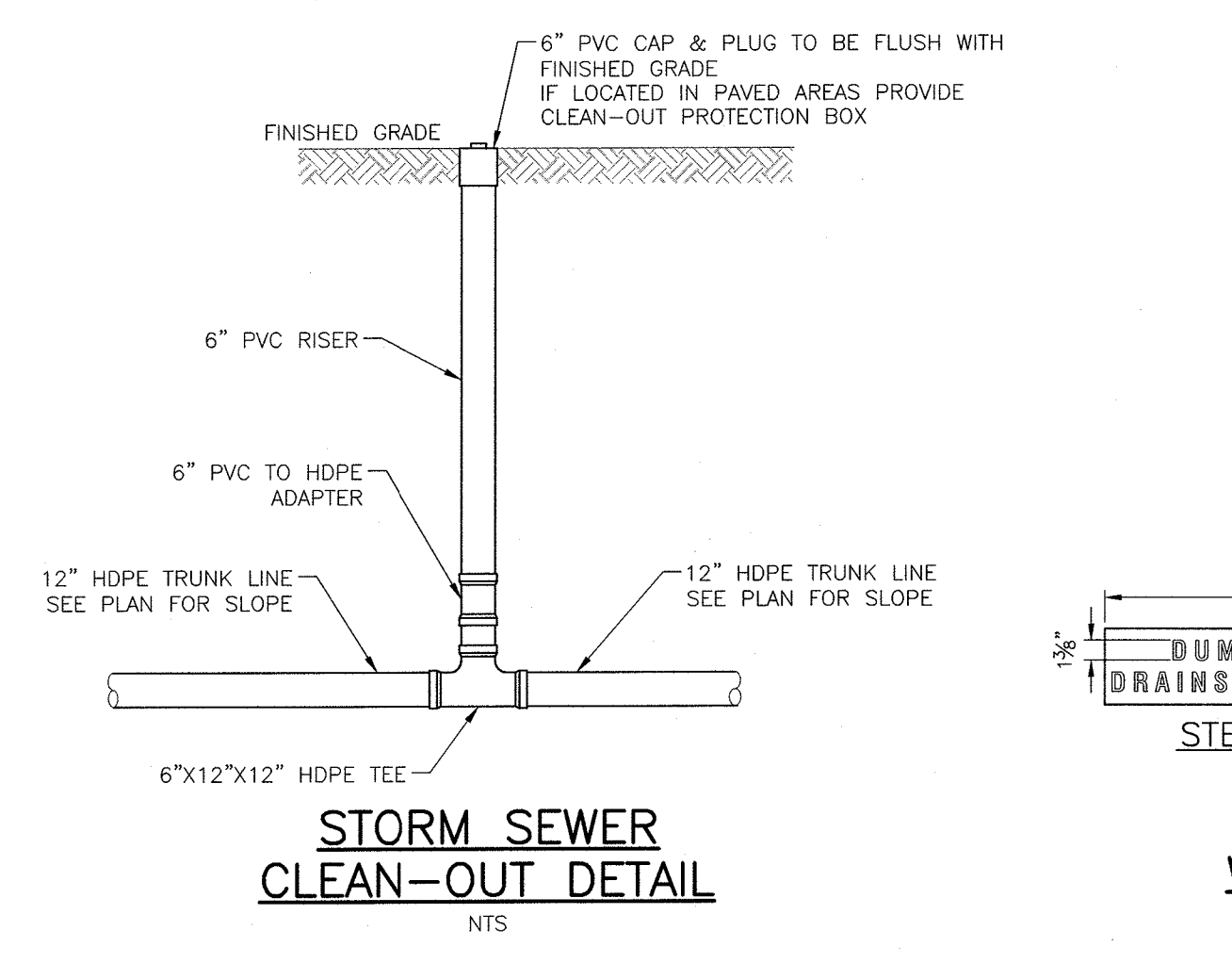
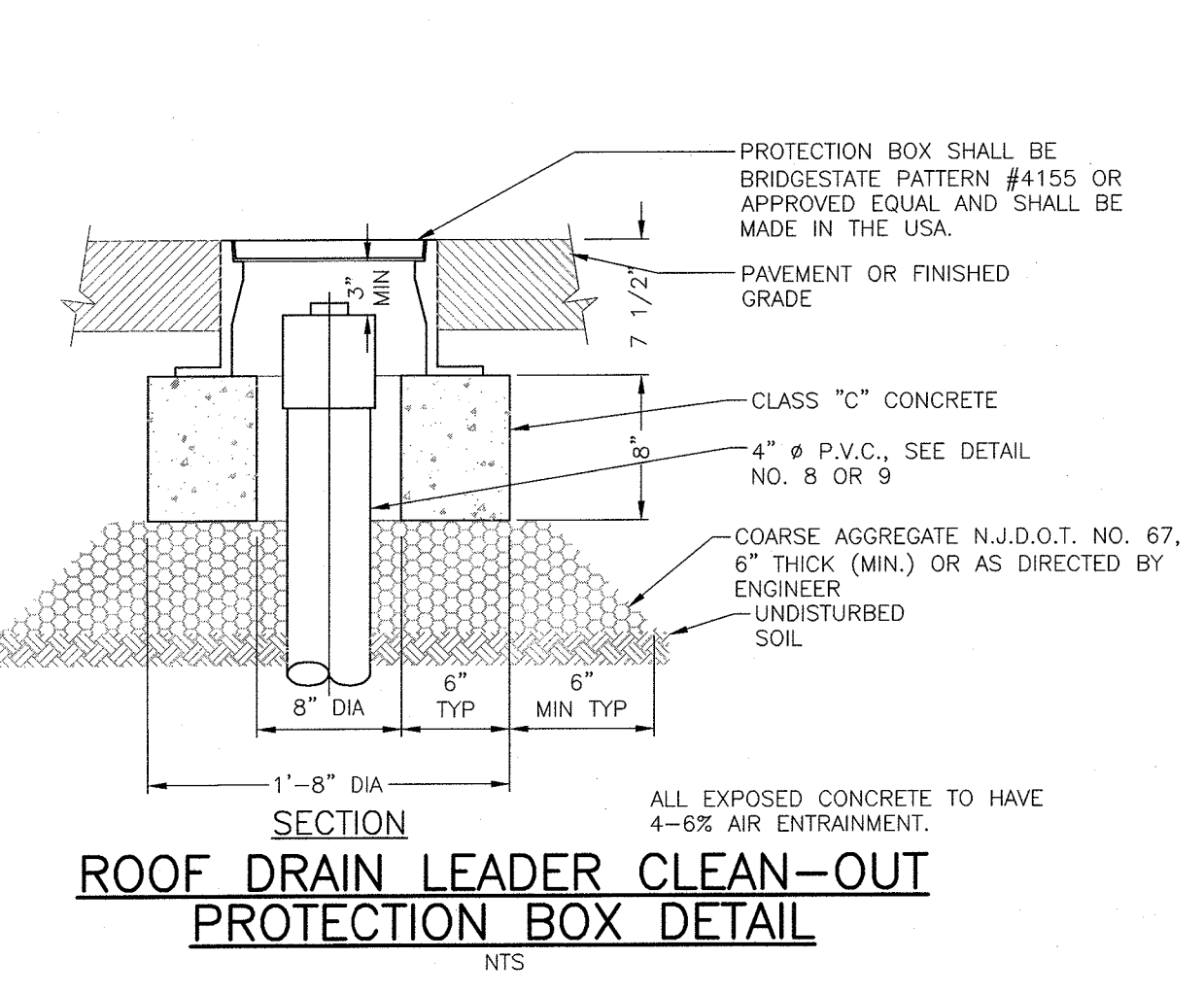
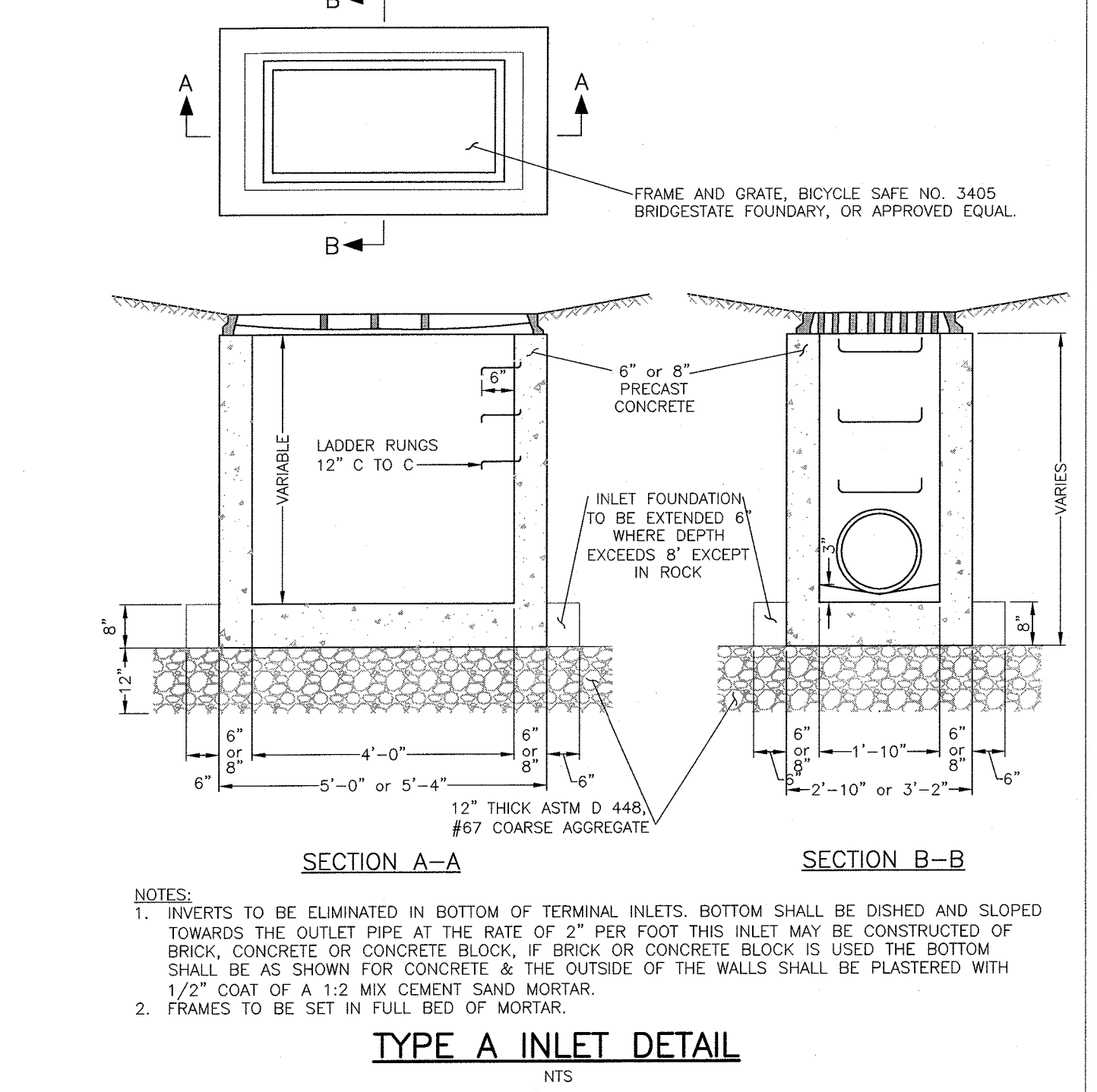
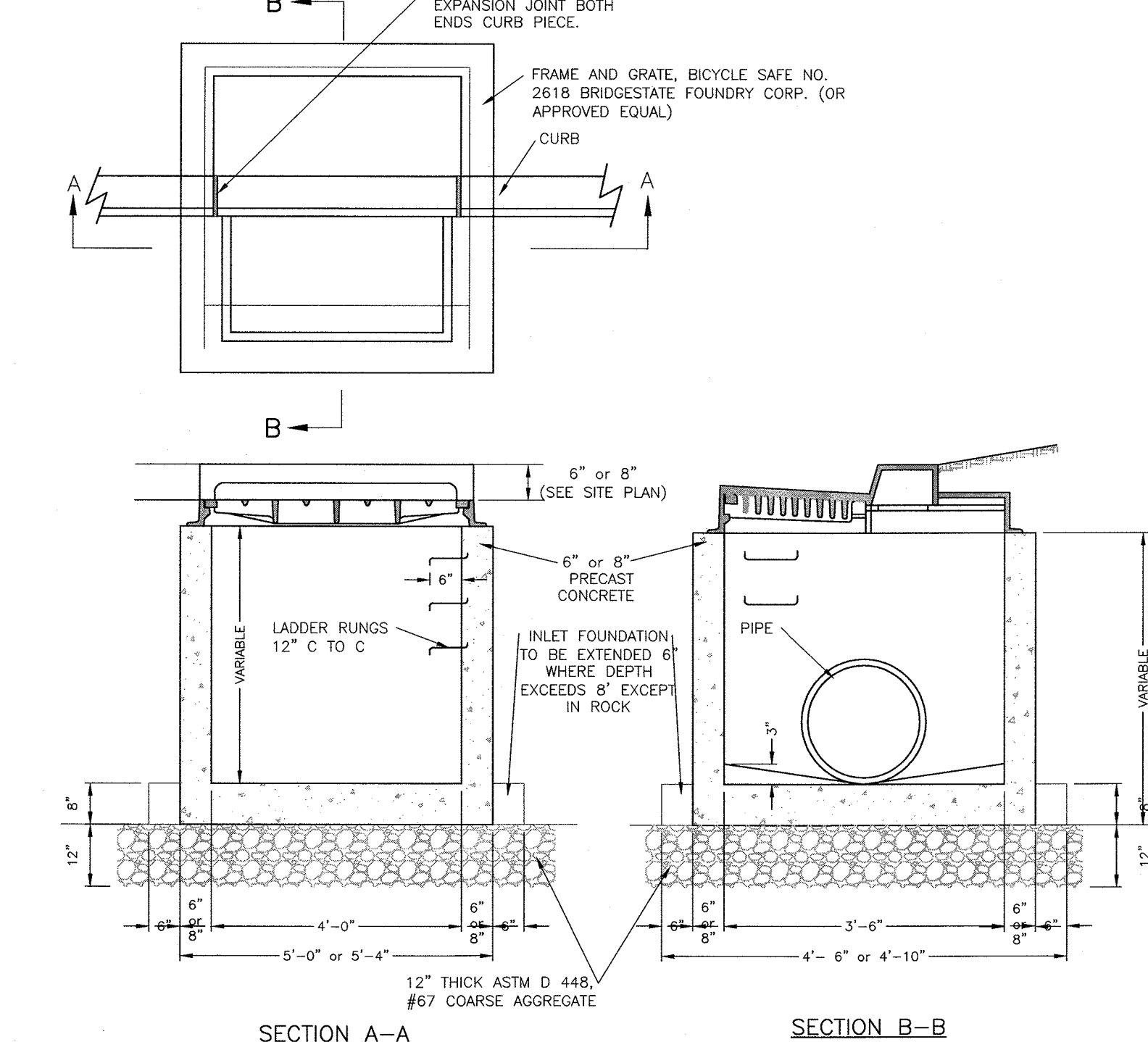
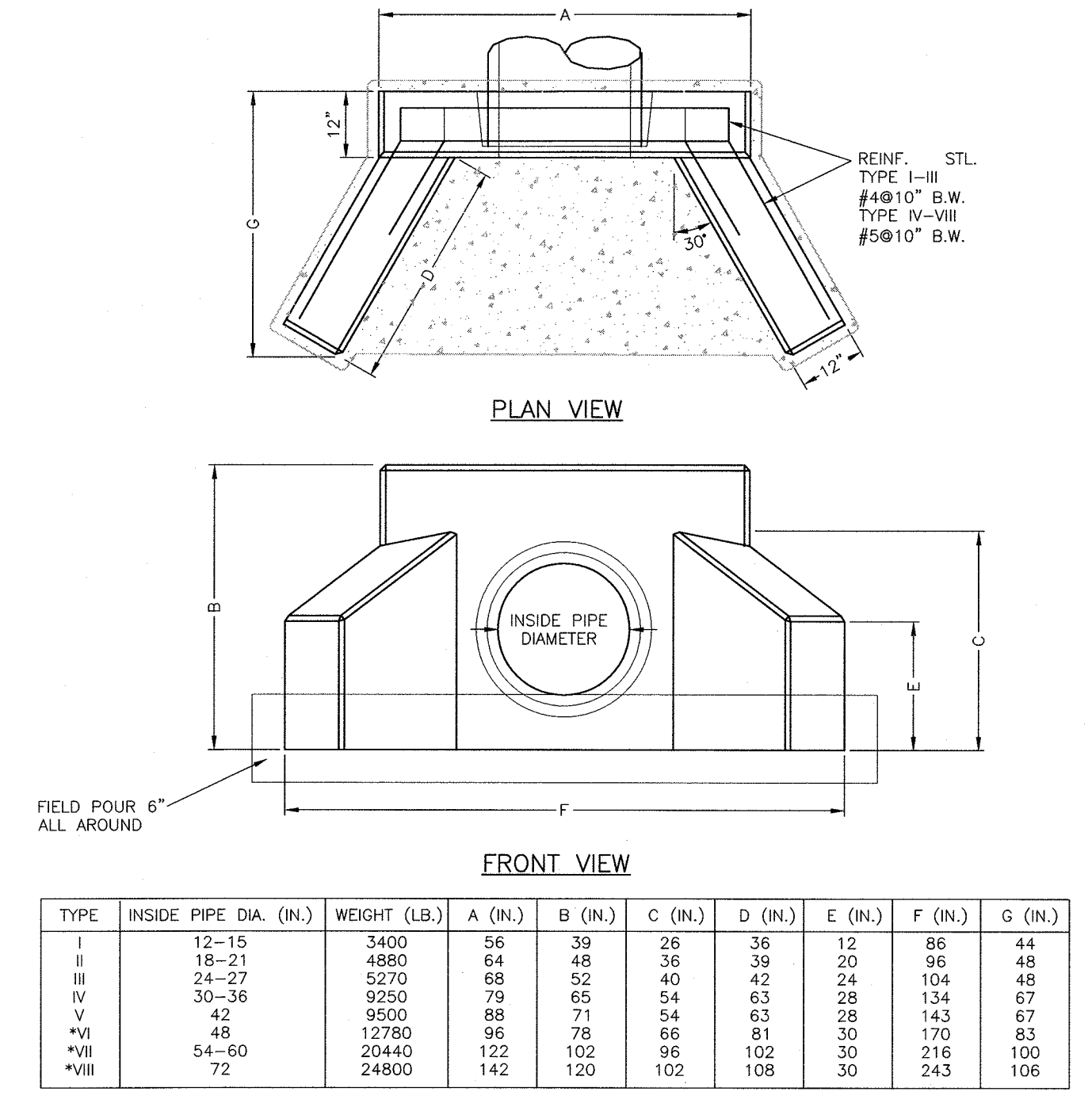
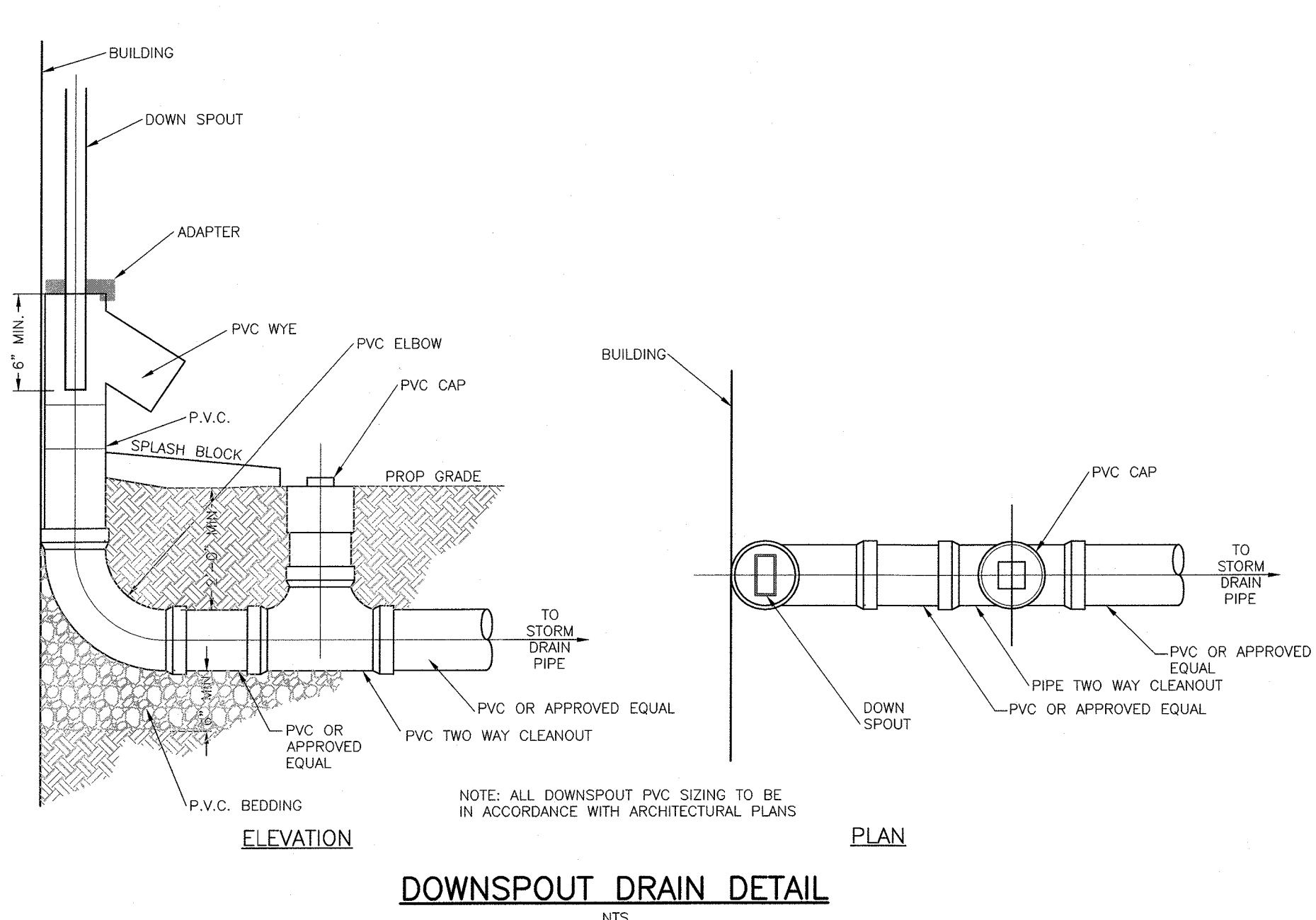
Ryan R. Headley
 Ryan R. Headley
 Professional Engineer
 N.J. License No. 24GE05211800

PHONE: (856) 794-4101 FAX: (856) 405-4606

ISSUED FOR BID	REVISIONS	DATE	BY	CRD
		10/18/24		

9

Plotted: 10/18/2024 4:38 PM By: jstenger
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 Design Drawn By: jstenger
 Drawing Checked By: jstenger
 Drawn By: jstenger
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CRUSHED STONE BEDDING CLASS C MODIFIED BEDDING
NTS

ROOF DRAIN TRENCH BEDDING DETAIL
NTS

SITE DETAILS 2
PUBLIC WORKS FACILITY
PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

CITY OF VINELAND
COUNTY OF CUMBERLAND STATE OF NEW JERSEY
SCALE: N.T.S. DIVISION OF PLANNING AND FACILITIES DATE: 10/08/2024
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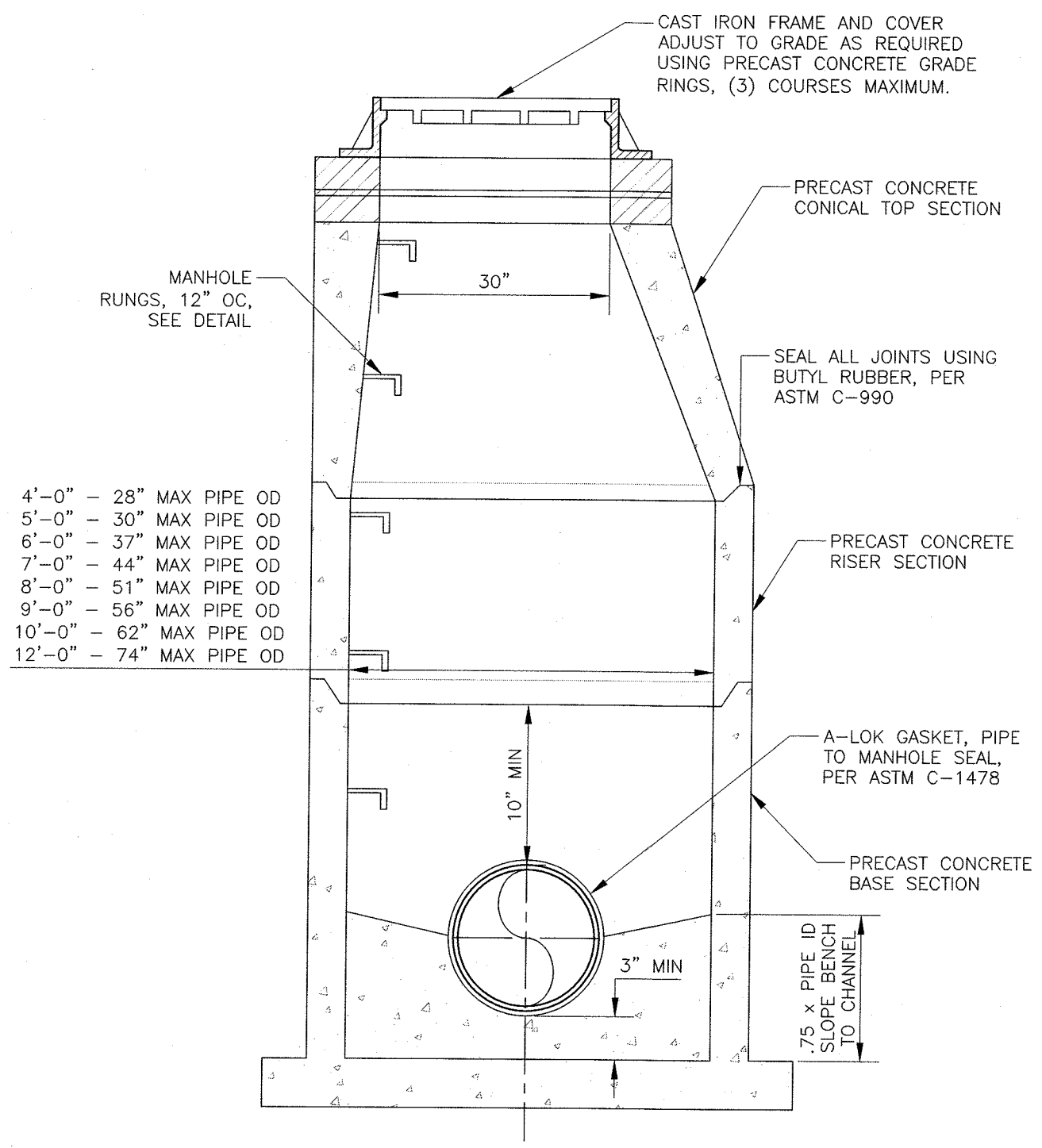
Professional Engineer
Ryan R. Headley
N.J. License No. 24GE05211800

PHONE: (856) 794-4101 FAX: (856) 405-4606

ISSUED FOR BID REVISIONS
DATE
BY
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DATE

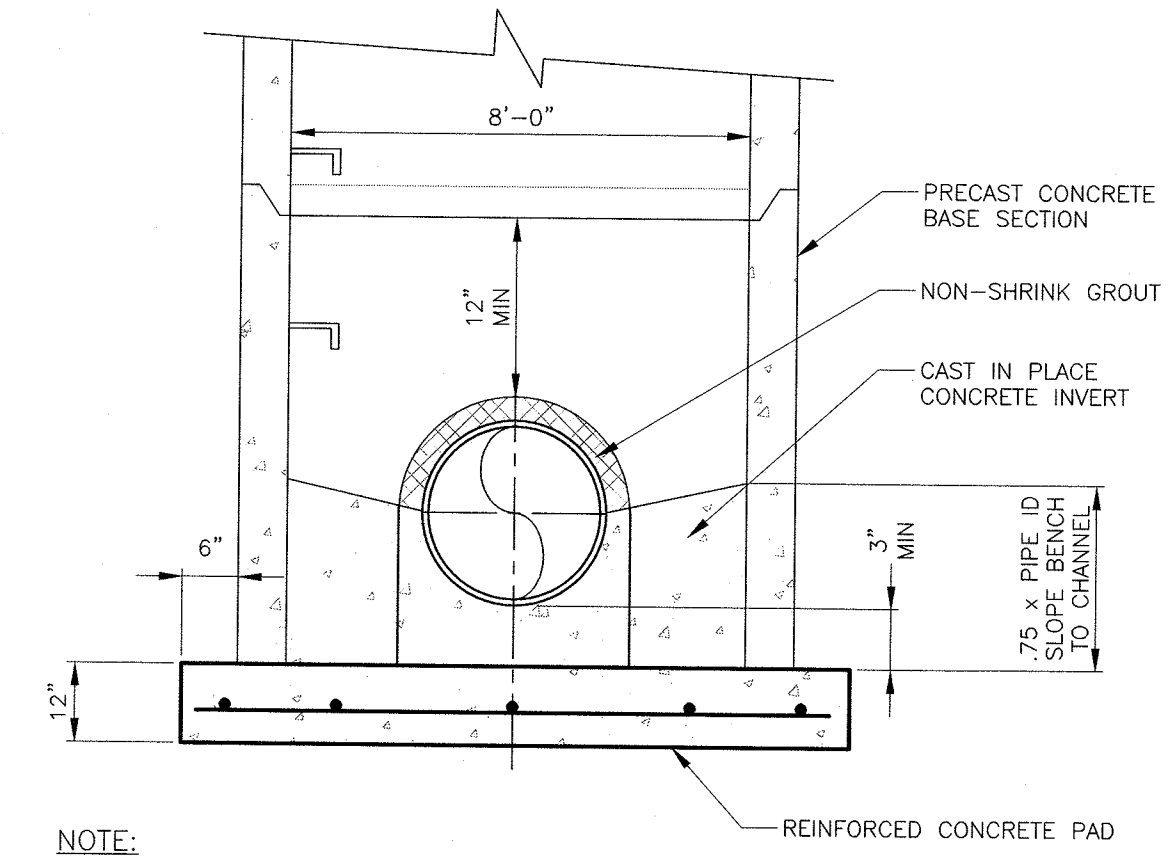
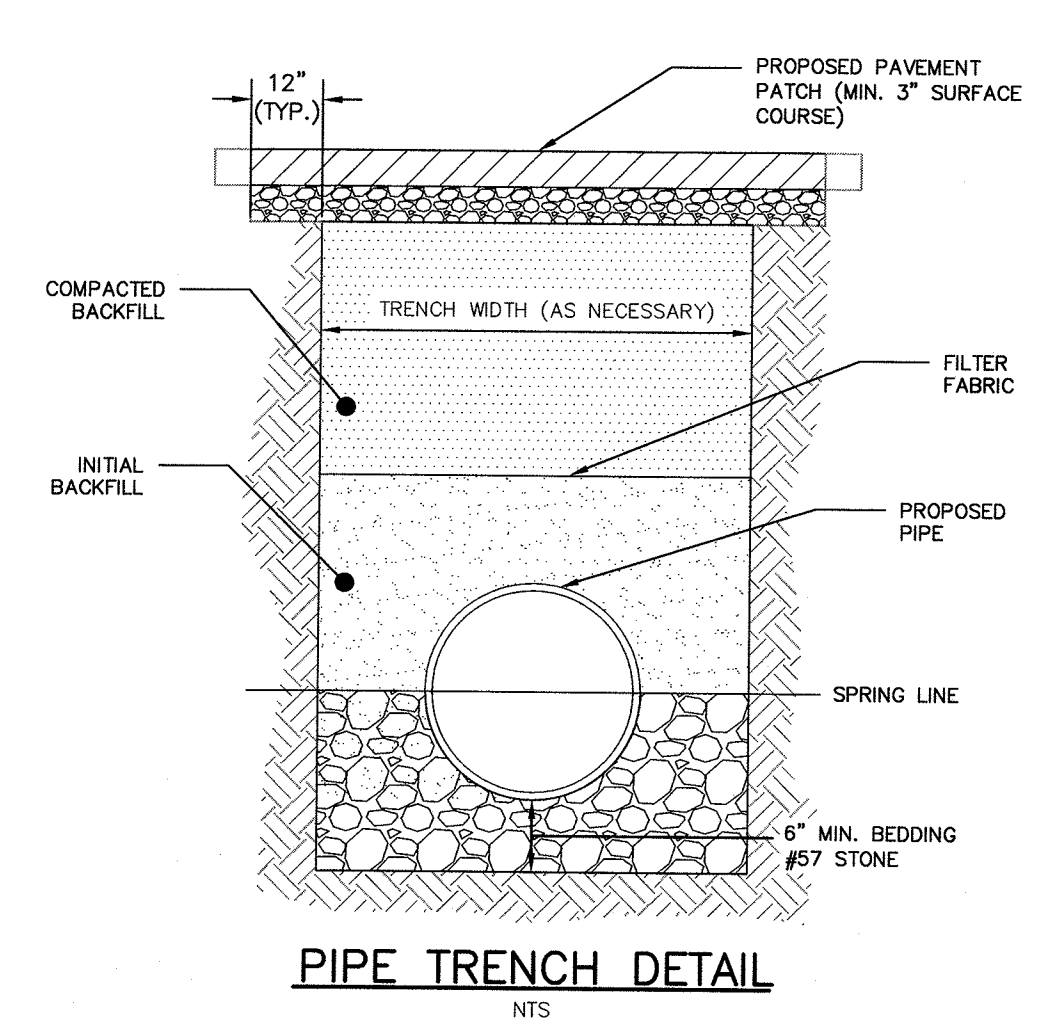
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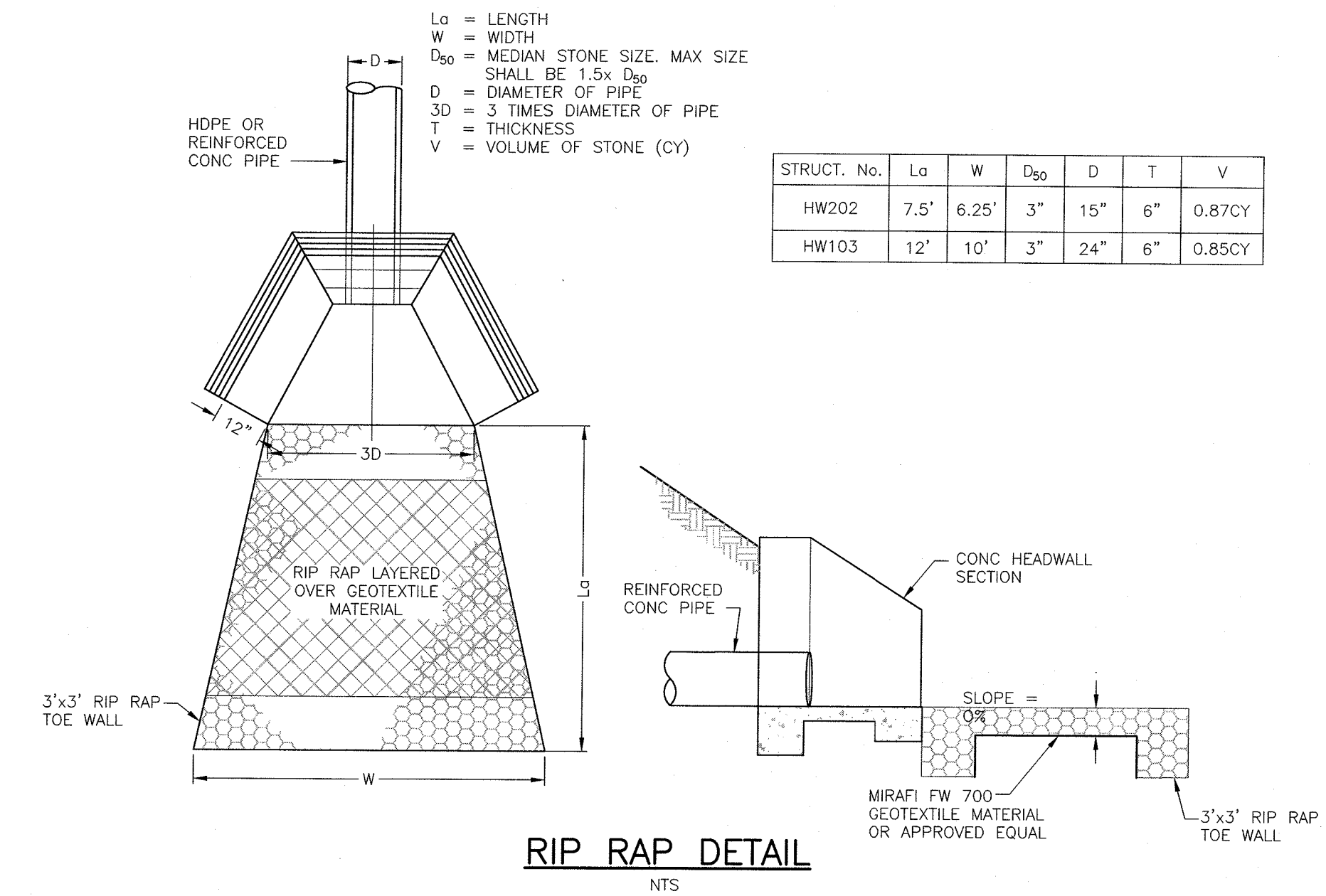
- NOTES:**
- MANHOLE DESIGN AND REINFORCEMENT TO CONFORM TO "SPECIFICATION FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" (ASTM C-478, LATEST REVISION).
 - MANHOLE TO BE WET CAST WITH A MONOLITHIC BASE SECTION, AS MANUFACTURED BY ATLANTIC CONCRETE PRODUCTS, OR APPROVED EQUAL.
 - THE ENTIRE EXTERIOR OF THE MANHOLE SHALL BE COATED WITH (2) COATS OF AN APPROVED BITUMASTIC EPOXY COATING.

PRECAST STORM MANHOLE DETAIL
NTS



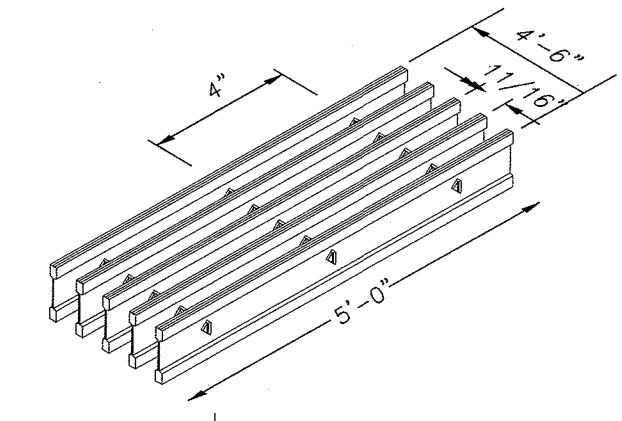
- NOTE:**
- OPENINGS IN PRECAST UNITS ARE TO BE 4" MINIMUM TO 8" MAXIMUM LARGER THAN THE OUTSIDE DIAMETER OF THE EXISTING PIPE.
 - TOP HALF OF EXISTING PIPE TO BE REMOVED FOR FULL LENGTH EXPOSED INSIDE MANHOLE. EXISTING MAIN TO BE NEATLY CUT ALONG THE SPRING LINE OF THE PIPE.
 - SEE PRECAST CONCRETE MANHOLE DETAIL FOR ADDITIONAL INFORMATION.

DOGHOUSE MANHOLE DETAIL
NTS

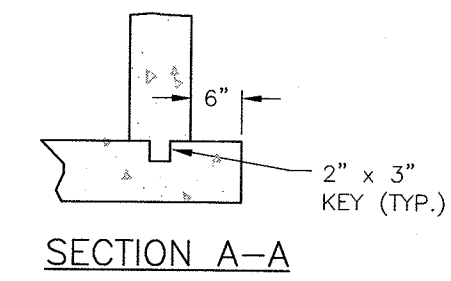


RIP RAP DETAIL
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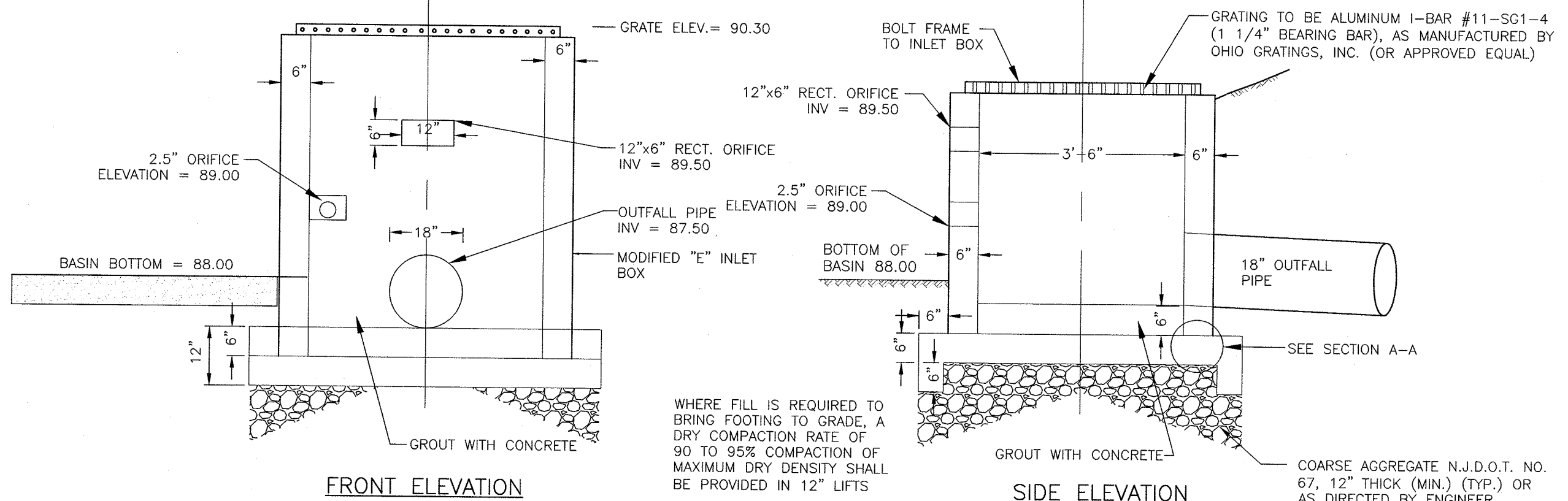
BASIN	A	B	C	D	E	F	G	I
	TOP OF BASIN ELEV.	BOTTOM OF BASIN ELEV.	BOTTOM OF SAND LAYER ELEV.	SHWT ELEV.	WQ W.S.E.	2 YR. W.S.E.	10 YR. W.S.E.	100 YR. W.S.E.
A-1	90.50	87.50	87.00	<84.20	88.11	88.96	89.35	90.10
A-2	91.00	88.00	87.50	<82.35	88.47	89.22	89.65	90.31



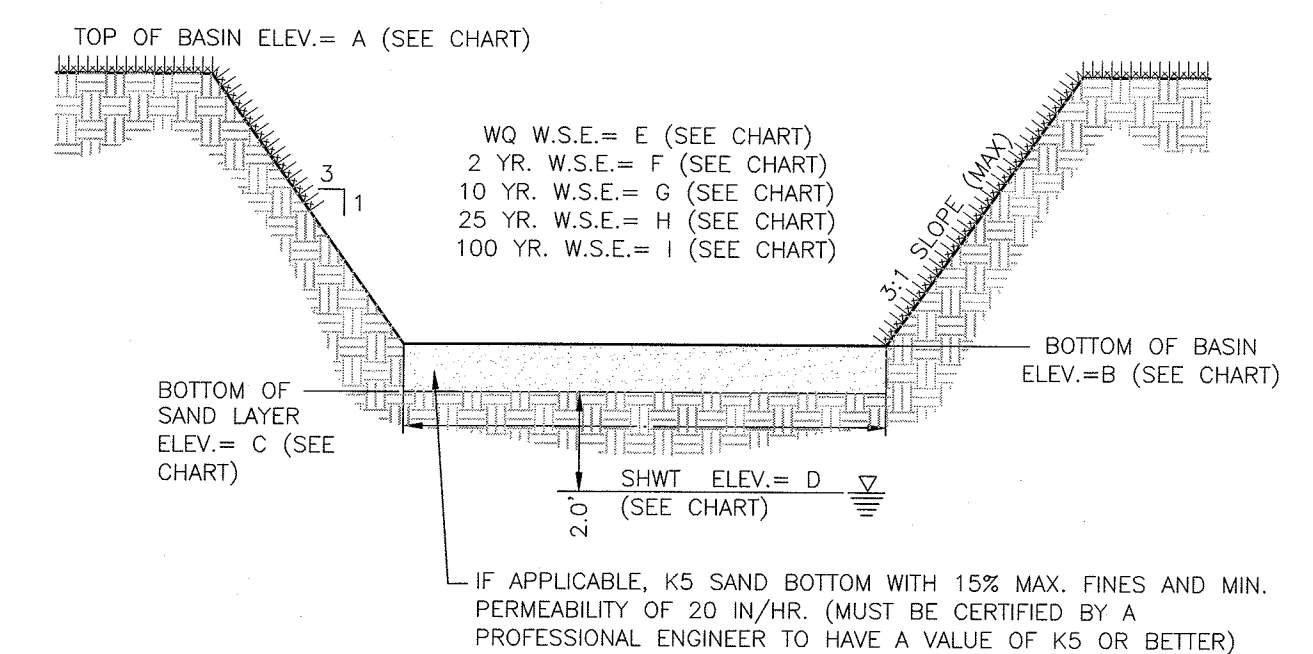
- NOTES:**
- SEE GRADING & DRAINAGE PLAN FOR LOCATIONS.
 - GRATE SHALL BE ATTACHED TO OFS WITH 12" BOLTS SPACED EVENLY.



SECTION A-A

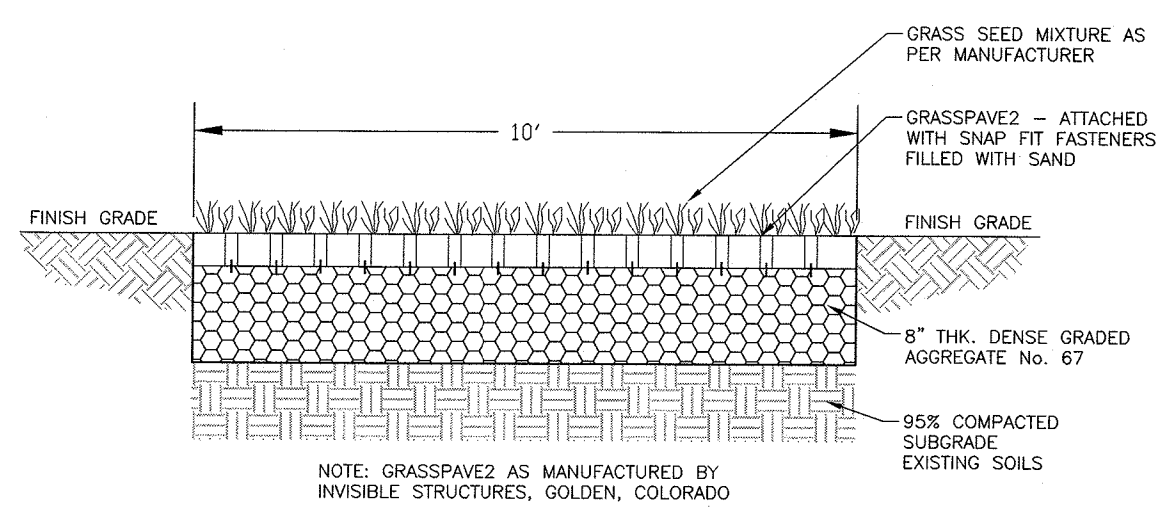


BASIN A-2 - OFSC OUTFLOW STRUCTURE DETAIL
NTS

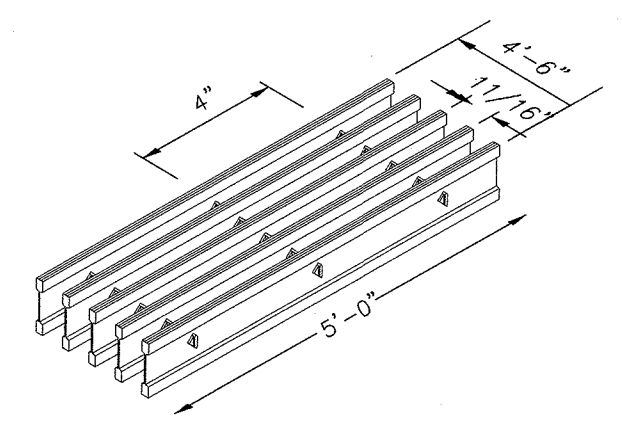


TYPICAL BASIN A-1 & A-2 CROSS-SECTION DETAIL
NTS

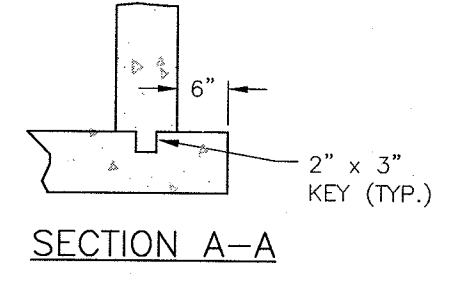
BASIN	A	B	C
	TOP OF BERM	SPILLWAY ELEV.	BOTTOM OF BASIN ELEV.
A-1	91.50	90.50	87.50
A-2	91.60	91.00	88.00



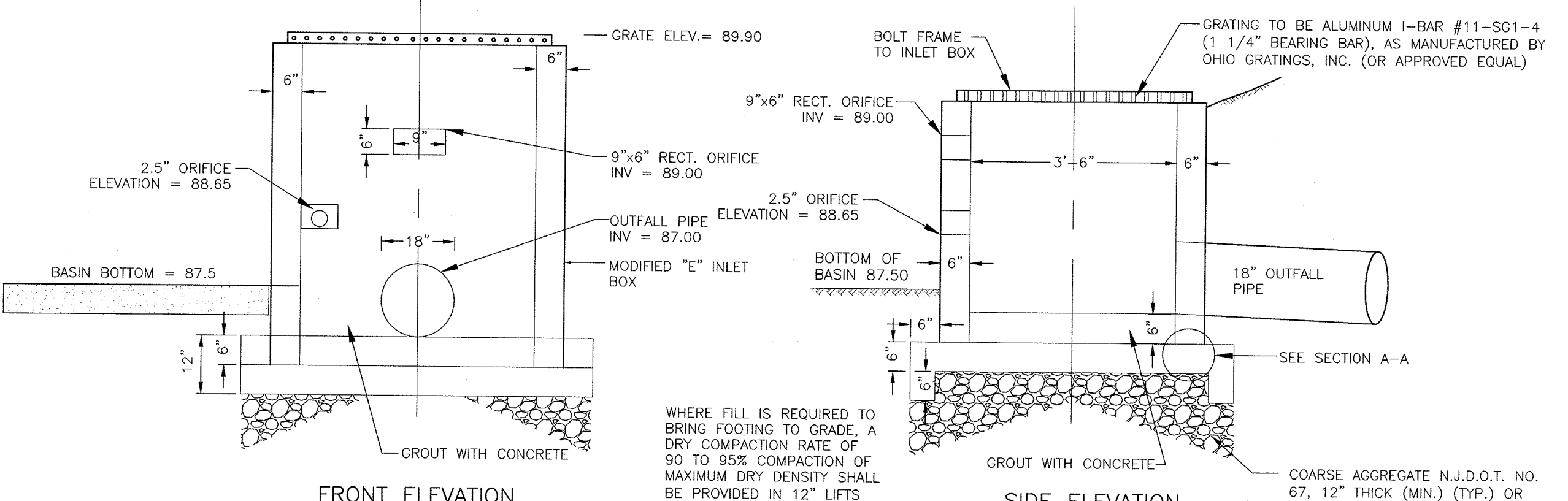
BASIN ACCESS ROAD
NTS



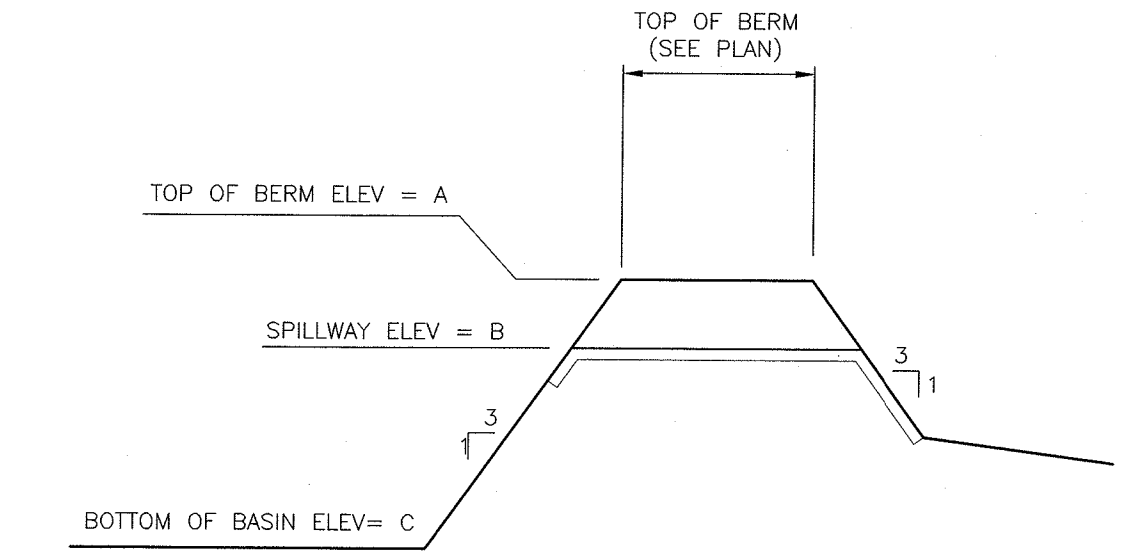
- NOTES:**
- SEE GRADING & DRAINAGE PLAN FOR LOCATIONS.
 - GRATE SHALL BE ATTACHED TO OFS WITH 12" BOLTS SPACED EVENLY.



SECTION A-A



BASIN A-1 - OFSC OUTFLOW STRUCTURE DETAIL
NTS



BASIN BERM CROSS SECTION DETAIL
NTS

- NOTES:**
- STRUCTURE TO MEET THE REQUIREMENTS OF ASTM SPEC. C-913 "PRECAST CONCRETE WATER AND WASTEWATER STRUCTURES".
 - ALL EXPOSED CONCRETE IS TO BE 4,000 P.S.I. AIR-ENTRAINED 4-6%, 28 DAY COMPRESSIVE STRENGTH (UNLESS OTHERWISE NOTED).
 - SEE GRADING & DRAINAGE PLAN FOR LOCATIONS.
 - GRATE SHALL BE ATTACHED TO OFS WITH 12" BOLTS SPACED EVENLY.
 - WHERE FILL IS REQUIRED TO BRING FOOTING TO GRADE, A DRY COMPACTION RATE OF 90 TO 95% COMPACTION OF MAXIMUM DRY DENSITY SHALL BE PROVIDED IN 12" LIFTS.

OUTFLOW STRUCTURE DETAIL
NTS

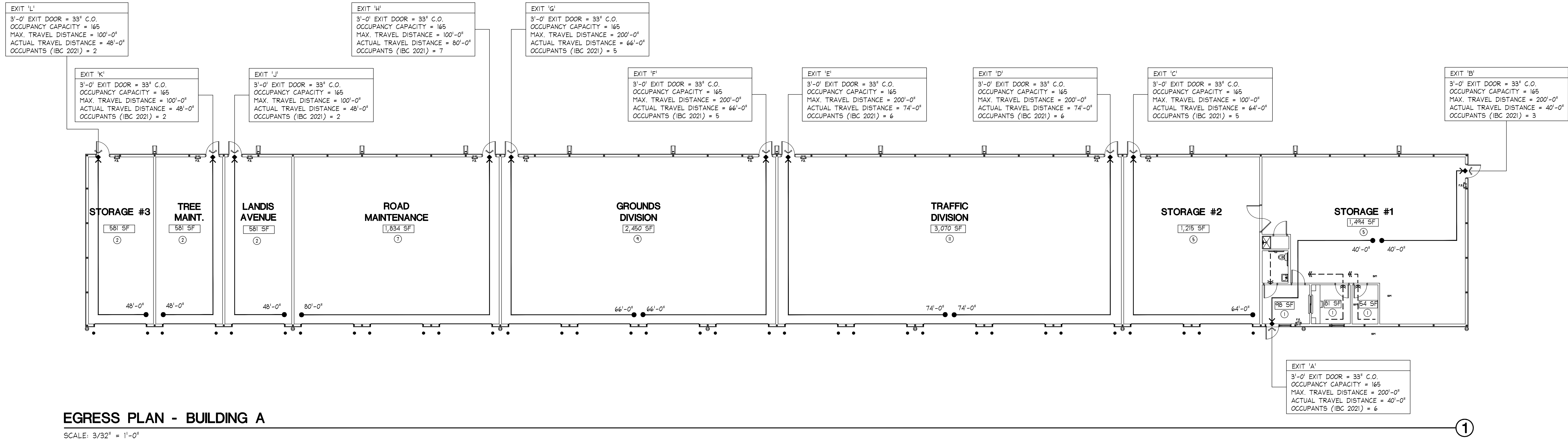
SITE DETAILS 3
PUBLIC WORKS FACILITY
PLATE 22, BLOCK 2232, LOTS 18, 19, 20 & 21
CITY OF VINELAND, CUMBERLAND COUNTY, NEW JERSEY

CITY OF VINELAND
COUNTY OF CUMBERLAND STATE OF NEW JERSEY
SCALE: N.T.S. DIVISION OF PLANNING AND FACILITIES DATE: 10/08/2024
FILE #: DPF-2024-02 640 EAST WOOD STREET VINELAND, NEW JERSEY 08360

Ryan R. Headley
Professional Engineer
N.J. License No. 24GE05211800

PHONE: (856) 794-4101 FAX: (856) 405-4606

ISSUED FOR BID	REVISED	DATE

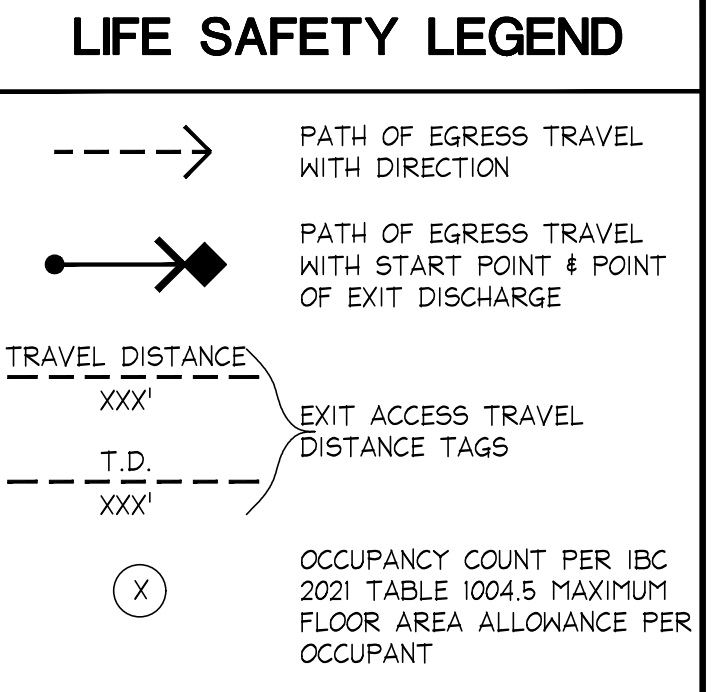


EGRESS PLAN - BUILDING A

SCALE: 3/32" = 1'-0"

Revisions

No.	Date	Description



- LIFE SAFETY NOTES**
- ALL TRAVEL DISTANCES ARE MEASURED FROM STARTING POINT TO EXIT DISCHARGE.
 - EGRESS PLAN INFORMATION SHOWN PRIMARILY FOR CODE REFERENCE; SEE FLOOR PLANS FOR ADDITIONAL CONSTRUCTION INFORMATION.

- NOTES:**
- SPACE WITH (1) EXIT MAX. TRAVEL DISTANCE OF 100'-0" WITH OCCUPANT LOAD LESS THAN 30 IN ACCORDANCE WITH IBC 2021-TABLE 1006-2.1; S-1 USE; NON-SPRINKLERED.
 - SPACE WITH MORE THAN (1) EXIT MAX. TRAVEL DISTANCE OF 200'-0" IN ACCORDANCE WITH IBC 2021-TABLE 1017.2; S-1 USE; NON-SPRINKLERED.
 - OCCUPANCY CAPACITY CALCULATED AT 0.2' PER OCCUPANT IN ACCORDANCE WITH IBC 2021 - SECTION 1005.3.2.

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 Ronald P. Portadin AIA AI-19038
 Peter W. Farrell AIA AI-13618

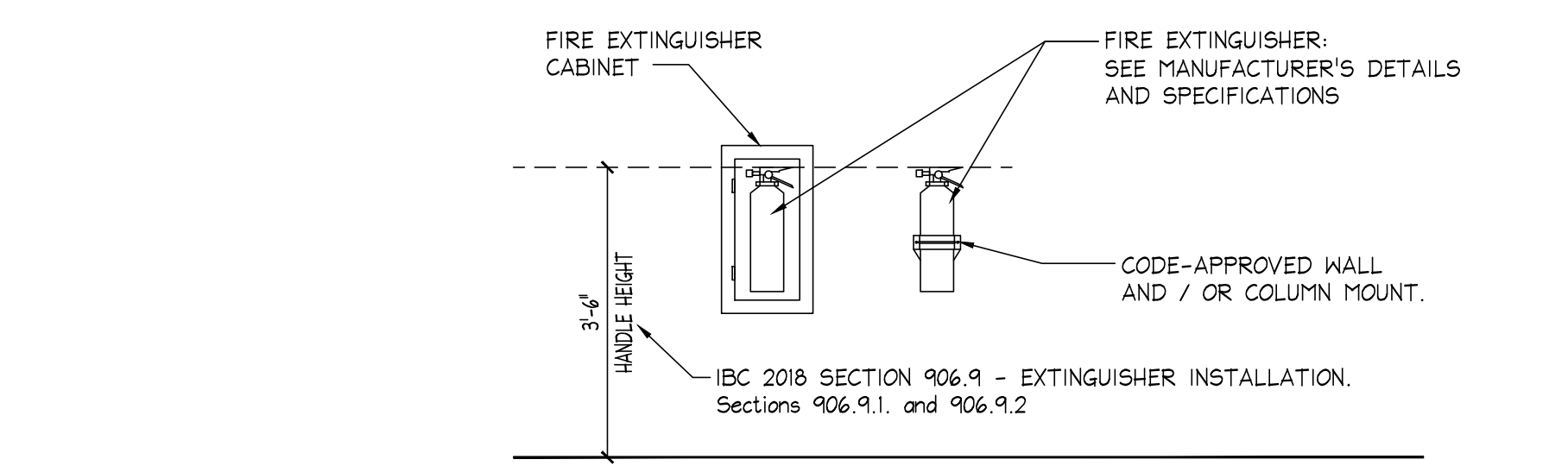
Project
NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

72 W. PARK AVE.
 VINELAND, NJ 08360



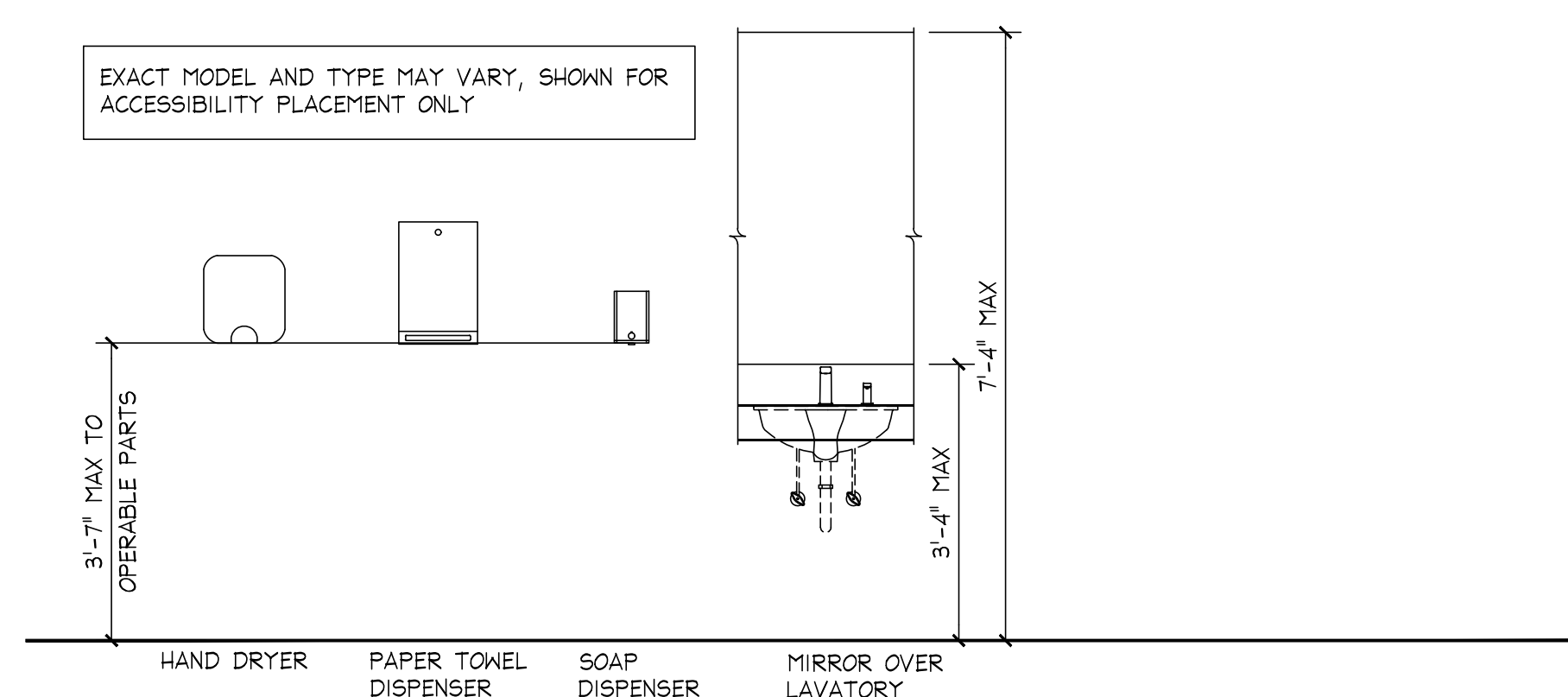
Drawing
 BUILDING DATA
 EGRESS PLANS

Scale	Job	Sheet
AS NOTED	23,089	EG1.0
Drawn	Date	1 of 5
ANA, EMS	10/08/24	



FIRE EXTINGUISHER MOUNTING HEIGHTS

SCALE: 1/2" = 1'-0"



TOILET ROOM ACCESSORY MOUNTING HEIGHTS

N.T.S.

BUILDING DATA - BDG A
 2021 INTERNATIONAL BUILDING CODE - NJ EDITION

PROJECT LOCATION
 BLOCK(S):
 LOT(S):
 MUNICIPALITY: CITY OF VINELAND

USE GROUP(S) MAIN USE ACCESSORY USE

<input type="checkbox"/> A-1	<input type="checkbox"/> H-1	<input type="checkbox"/> R-1	<input type="checkbox"/> S-1
<input type="checkbox"/> A-2	<input type="checkbox"/> H-2	<input type="checkbox"/> R-2	<input type="checkbox"/> S-2
<input type="checkbox"/> A-3	<input type="checkbox"/> H-3	<input type="checkbox"/> R-3	<input type="checkbox"/> U
<input type="checkbox"/> A-4	<input type="checkbox"/> H-4	<input type="checkbox"/> R-4	
<input type="checkbox"/> A-5	<input type="checkbox"/> I-1		
<input type="checkbox"/> B	<input type="checkbox"/> I-2		
<input type="checkbox"/> E	<input type="checkbox"/> I-3	<input type="checkbox"/> MIXED USE (SEPARATED)	
<input type="checkbox"/> F-1	<input type="checkbox"/> I-4	<input type="checkbox"/> MIXED USE (NON-SEPARATED)	
<input type="checkbox"/> F-2			

CONSTRUCTION CLASSIFICATION

<input type="checkbox"/> 1A (PROTECTED)	<input type="checkbox"/> 3A (PROTECTED)
<input type="checkbox"/> 1B (PROTECTED)	<input type="checkbox"/> 3B (UNPROTECTED)
<input type="checkbox"/> 2A (PROTECTED)	<input type="checkbox"/> 4 (HEAVY TIMBER)
<input type="checkbox"/> 2B (UNPROTECTED)	<input type="checkbox"/> 5A (PROTECTED)
	<input type="checkbox"/> 5B (UNPROTECTED)

GENERAL BUILDING LIMITATIONS

ALLOWABLE AREA (TABLE 506.2):	9,000 SF
STREET FRONTAGE INCREASE (SECTION 506.3.3):	5,070 SF
TOTAL ALLOWABLE AREA:	14,070 SF
PROPOSED BUILDING AREA:	12,800 SF
BUILDING VOLUME:	256,000 CF
ALLOWABLE STORIES (TABLE 504.4):	1
ACTUAL STORIES:	1
ALLOWABLE BUILDING HEIGHT (SECTION 504.3):	40'-0" FT
ACTUAL BUILDING HEIGHT:	21'-0" FT

FIRE PROTECTION SYSTEM

LIMITED AREA SPRINKLER SYSTEM
 COMPLETE FIRE SUPPRESSION SYSTEM

ADDITIONAL INFORMATION

BUILDING DATA - BDG B
 2021 INTERNATIONAL BUILDING CODE - NJ EDITION

PROJECT LOCATION
 BLOCK(S):
 LOT(S):
 MUNICIPALITY: CITY OF VINELAND

USE GROUP(S) MAIN USE ACCESSORY USE

<input type="checkbox"/> A-1	<input type="checkbox"/> H-1	<input type="checkbox"/> R-1	<input type="checkbox"/> S-1
<input type="checkbox"/> A-2	<input type="checkbox"/> H-2	<input type="checkbox"/> R-2	<input type="checkbox"/> S-2
<input type="checkbox"/> A-3	<input type="checkbox"/> H-3	<input type="checkbox"/> R-3	<input type="checkbox"/> U
<input type="checkbox"/> A-4	<input type="checkbox"/> H-4	<input type="checkbox"/> R-4	
<input type="checkbox"/> A-5	<input type="checkbox"/> I-1		
<input type="checkbox"/> B	<input type="checkbox"/> I-2		
<input type="checkbox"/> E	<input type="checkbox"/> I-3	<input type="checkbox"/> MIXED USE (SEPARATED)	
<input type="checkbox"/> F-1	<input type="checkbox"/> I-4	<input type="checkbox"/> MIXED USE (NON-SEPARATED)	
<input type="checkbox"/> F-2			

CONSTRUCTION CLASSIFICATION

<input type="checkbox"/> 1A (PROTECTED)	<input type="checkbox"/> 3A (PROTECTED)
<input type="checkbox"/> 1B (PROTECTED)	<input type="checkbox"/> 3B (UNPROTECTED)
<input type="checkbox"/> 2A (PROTECTED)	<input type="checkbox"/> 4 (HEAVY TIMBER)
<input type="checkbox"/> 2B (UNPROTECTED)	<input type="checkbox"/> 5A (PROTECTED)
	<input type="checkbox"/> 5B (UNPROTECTED)

GENERAL BUILDING LIMITATIONS

ALLOWABLE AREA (TABLE 506.2):	9,000 SF
STREET FRONTAGE INCREASE (SECTION 506.3.3):	5,670 SF
TOTAL ALLOWABLE AREA:	14,670 SF
PROPOSED BUILDING AREA:	3,840 SF
BUILDING VOLUME:	84,480 CF
ALLOWABLE STORIES (TABLE 504.4):	1
ACTUAL STORIES:	1
ALLOWABLE BUILDING HEIGHT (SECTION 504.3):	40'-0" FT
ACTUAL BUILDING HEIGHT:	20'-0" FT

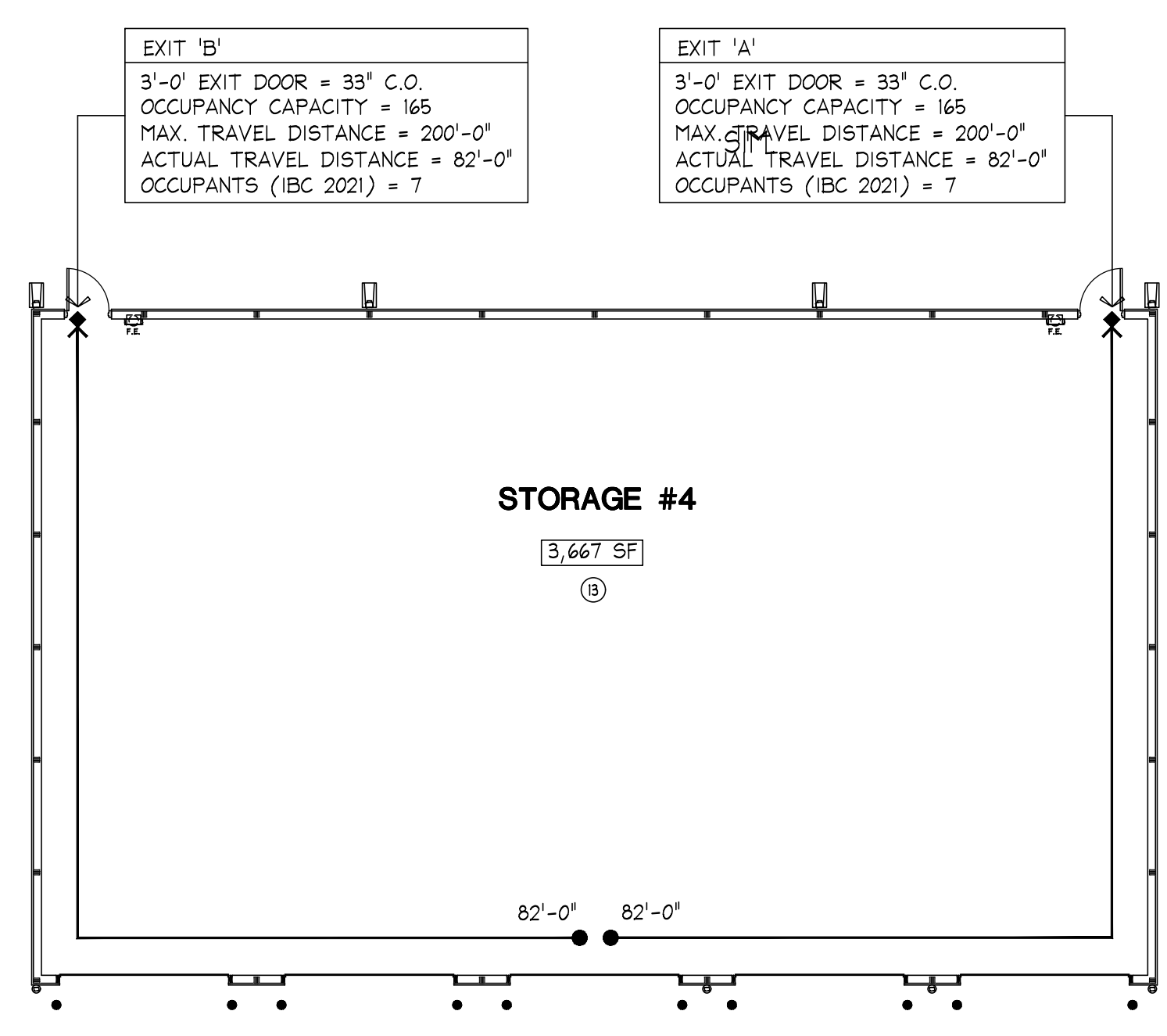
FIRE PROTECTION SYSTEM

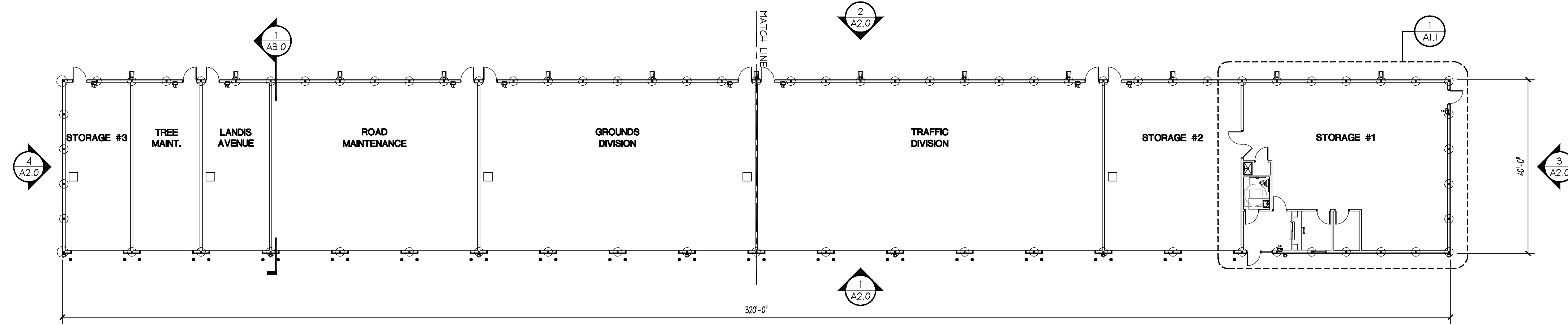
LIMITED AREA SPRINKLER SYSTEM
 COMPLETE FIRE SUPPRESSION SYSTEM

ADDITIONAL INFORMATION

EGRESS PLAN - BUILDING B

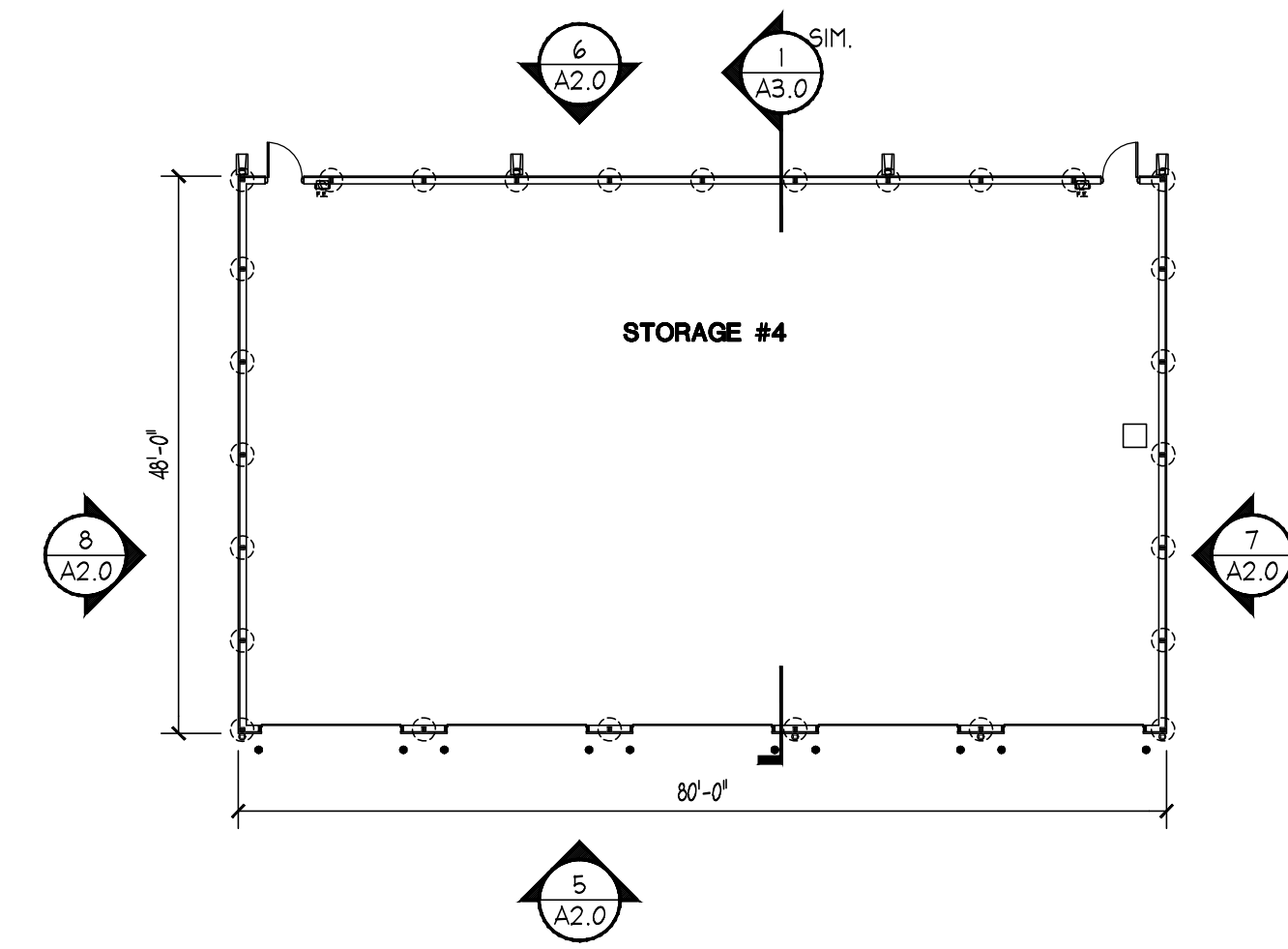
SCALE: 3/32" = 1'-0"





OVERALL FLOOR PLAN - BUILDING A

SCALE: 1/16" = 1'-0"

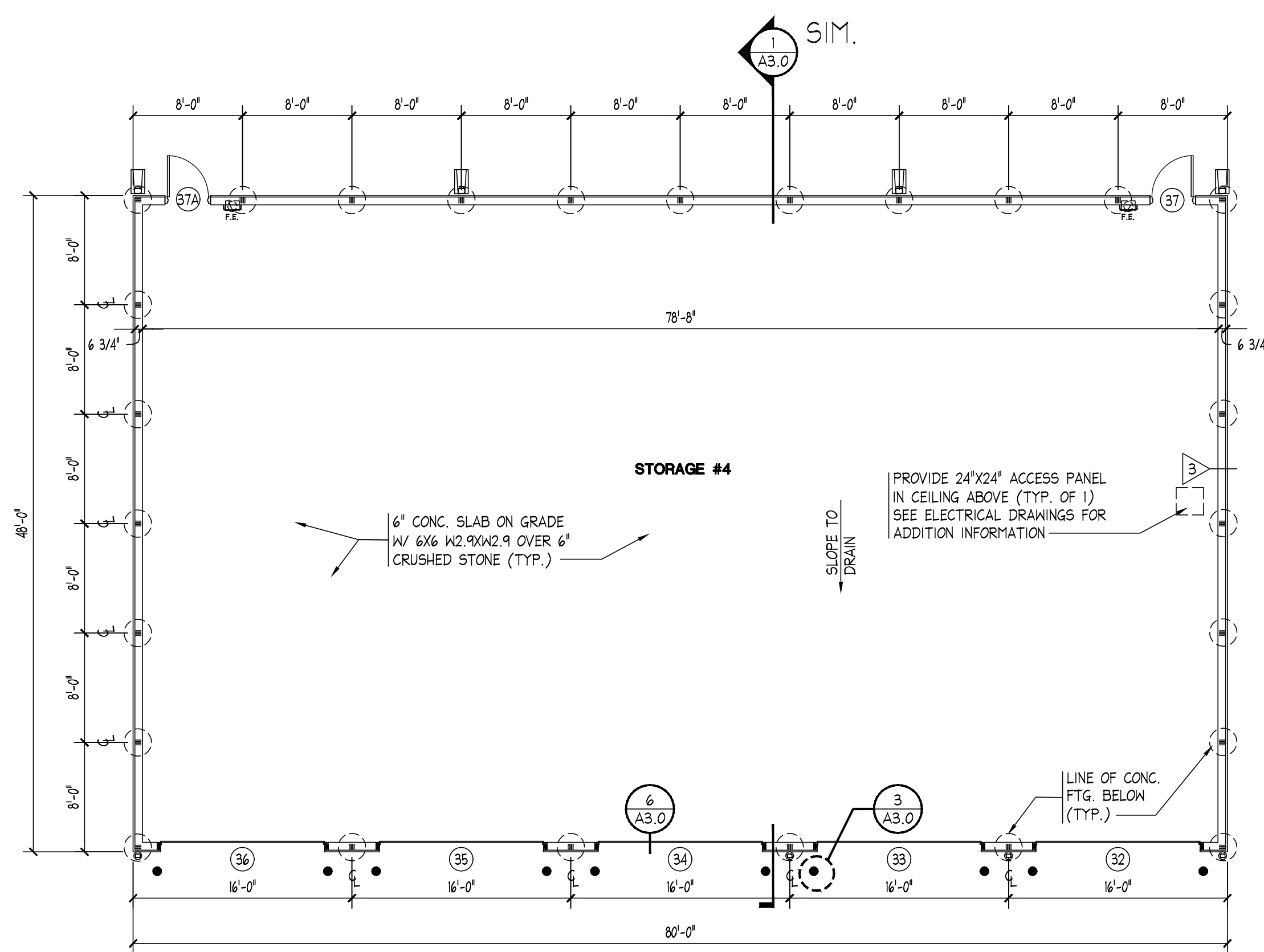


OVERALL FLOOR PLAN - BUILDING B

SCALE: 1/16" = 1'-0"

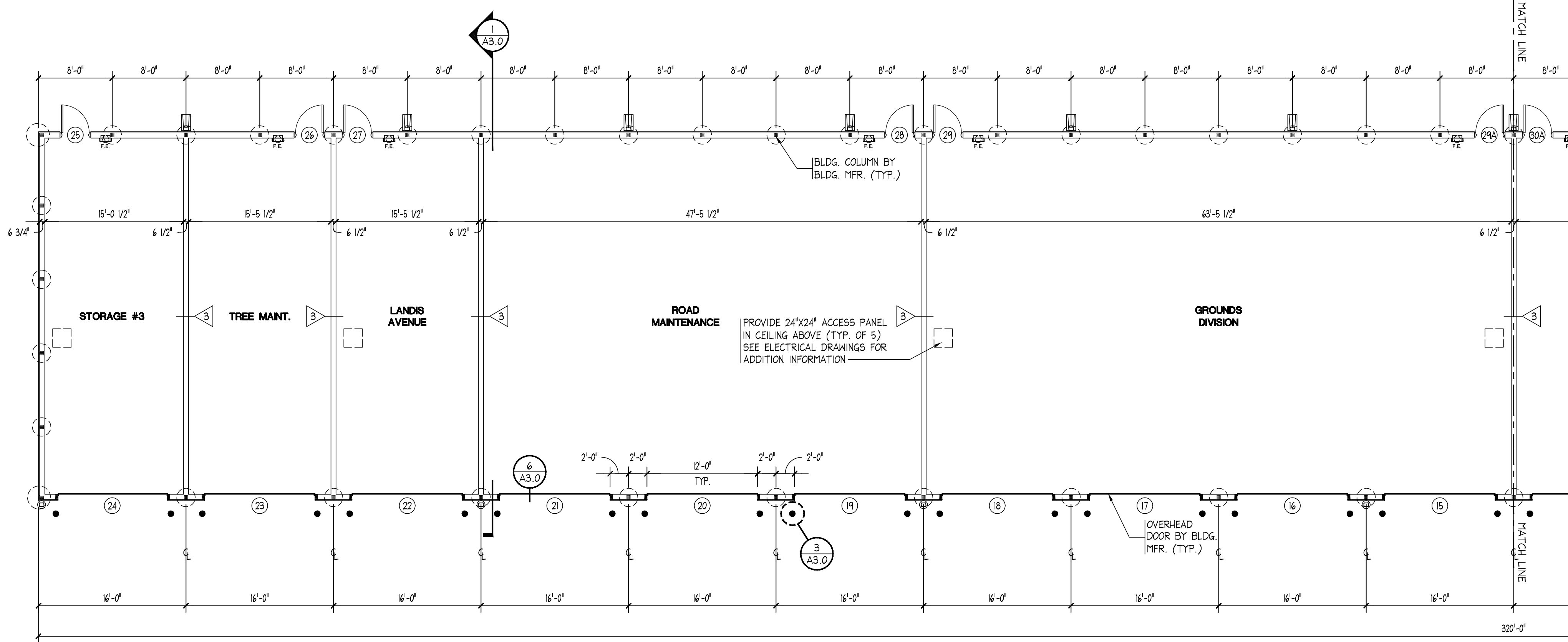
Revisions		
No.	Date	Description

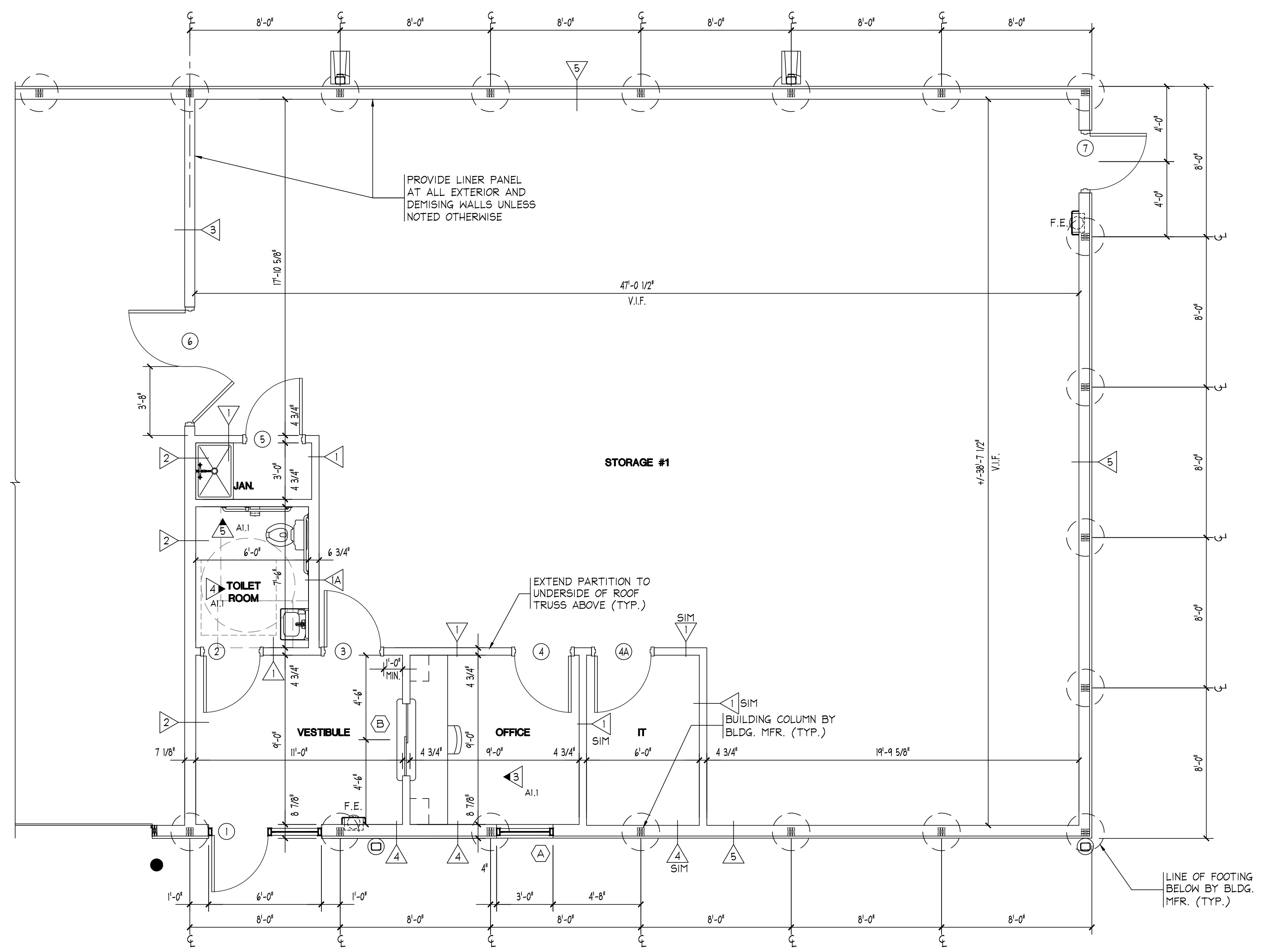
- NOTES:
- SEE SITE PLAN DWGS FOR ADDITIONAL INFORMATION ON ALL WALKS, CURBS, PADS, PAVED AREAS, ETC.
 - G.C. TO PROVIDE AND INSTALL ATTIC DRAFTSTOPPING IN ACCORDANCE WITH 2021 IBC-NJ EDITION SECTION 718.4 SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 S.F.
 - AT BUILDING A, GENERAL CONTRACTOR TO SUPPLY AND INSTALL A 10 MIL. POLY VAPOR BARRIER BELOW CONC. FLOOR SLAB AT STORAGE #1, INCLUDING JAN, CLOSET, TOILET ROOM, VESTIBULE, OFFICE AND IT.
 - AT BUILDING B GENERAL CONTRACTOR TO SUPPLY AND INSTALL A 10 MIL. POLY VAPOR BARRIER BELOW CONC. FLOOR SLAB AT ENTIRETY OF BUILDING.
 - G.C. TO PROVIDE AND INSTALL FIRE BLOCKING IN ALL INTERIOR AND EXTERIOR PARTITIONS IN ACCORDANCE WITH 2021 IBC-NJ EDITION SECTION 718.



ENLARGED FLOOR PLAN - BUILDING B

SCALE: 1/8" = 1'-0"



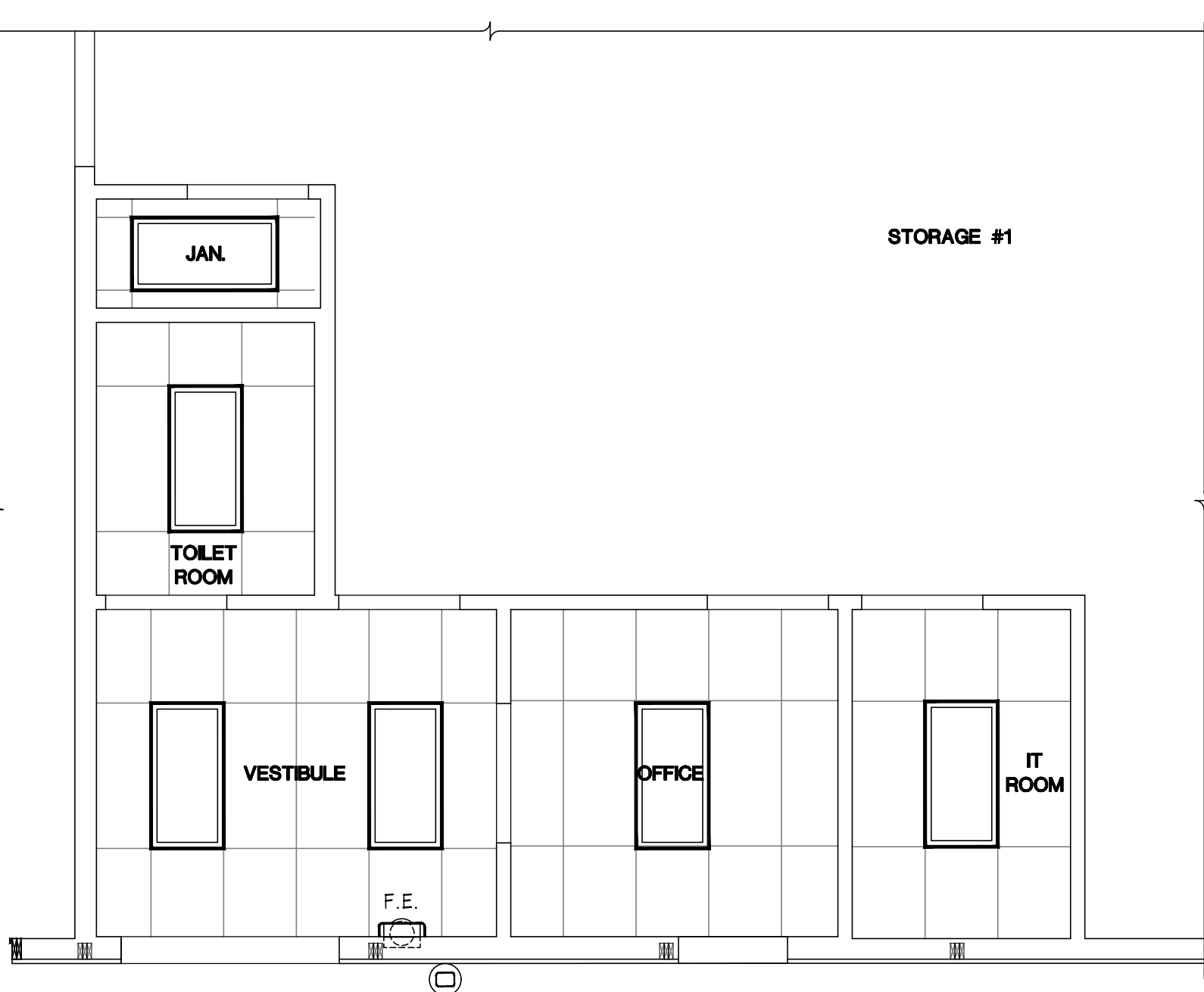


ENLARGED STORAGE #1 FLOOR PLAN

SCALE: 1/4" = 1'-0"

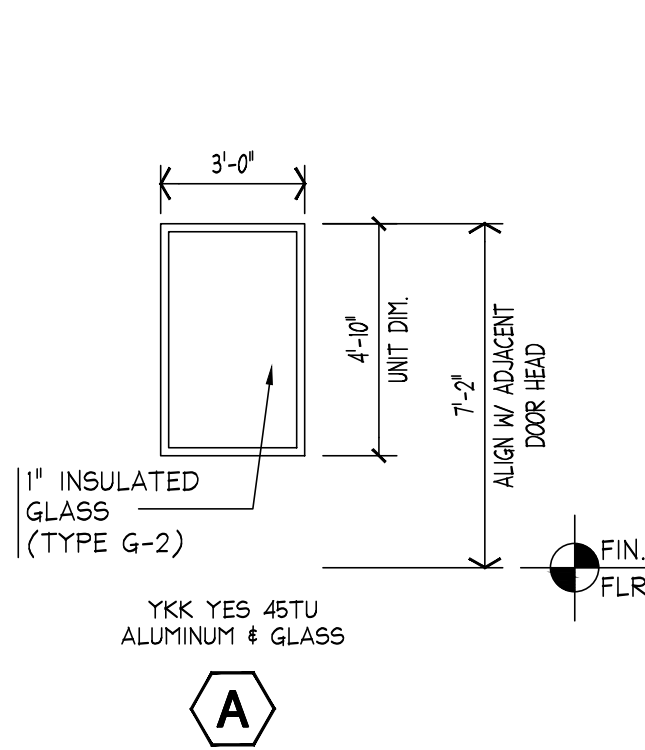
ROOM NAME	FLOOR	BASE	WALL	CLG.	HEIGHT	REMARKS
VESTIBULE		WALK-OFF MAT	VINYL	PTD. G.W.B.	ACQUSTIC TILE	8'-0"
OFFICE		VCT	VINYL	PTD. G.W.B.	ACQUSTIC TILE	8'-0"
TOILET ROOM		VCT	VINYL	PTD. G.W.B.	ACQUSTIC TILE	8'-0"
JANITOR CLOSET		VCT	VINYL	PTD. G.W.B.	ACQUSTIC TILE	8'-0"
IT ROOM		VCT	VINYL	3/4" PLYWOOD	ACQUSTIC TILE	9'-0"
STORAGE #1		SEALED CONC.	---	LINER PANEL	LINER PANEL	16'-0"
STORAGE #2		SEALED CONC.	---	LINER PANEL	LINER PANEL	16'-0"
TRAFFIC DIVISION		SEALED CONC.	---	LINER PANEL	LINER PANEL	16'-0"
ROADS DIVISION		SEALED CONC.	---	LINER PANEL	LINER PANEL	16'-0"
ROAD MAINT.		SEALED CONC.	---	LINER PANEL	LINER PANEL	16'-0"
LANDIS AVE.		SEALED CONC.	---	LINER PANEL	LINER PANEL	16'-0"
TREE MAINT.		SEALED CONC.	---	LINER PANEL	LINER PANEL	16'-0"
STORAGE #3		SEALED CONC.	---	LINER PANEL	LINER PANEL	16'-0"
STORAGE #4		SEALED CONC.	---	LINER PANEL	LINER PANEL	16'-0"

- NOTES:
- COORDINATE ALL FINISH SELECTIONS/LOCATIONS WITH OWNER.
 - PROVIDE 6" UNFACED INSULATION BATTS ABOVE ALL ACQUSTICAL TILE CEILINGS.
 - LINER PANEL BY BUILDING MANUFACTURER.
 - SEE SPECIFICATION SECTION 033000 FOR INFORMATION ON CONCRETE FLOOR SLAB SEALER.



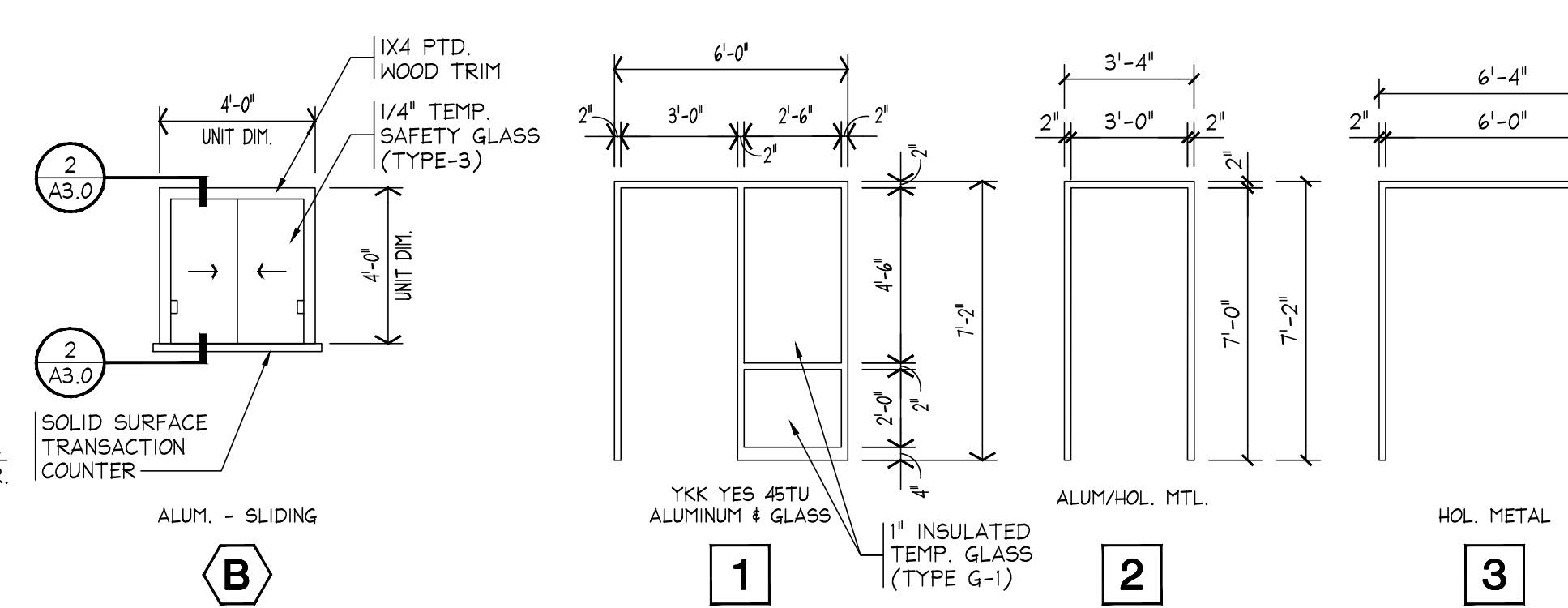
STORAGE #1 REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



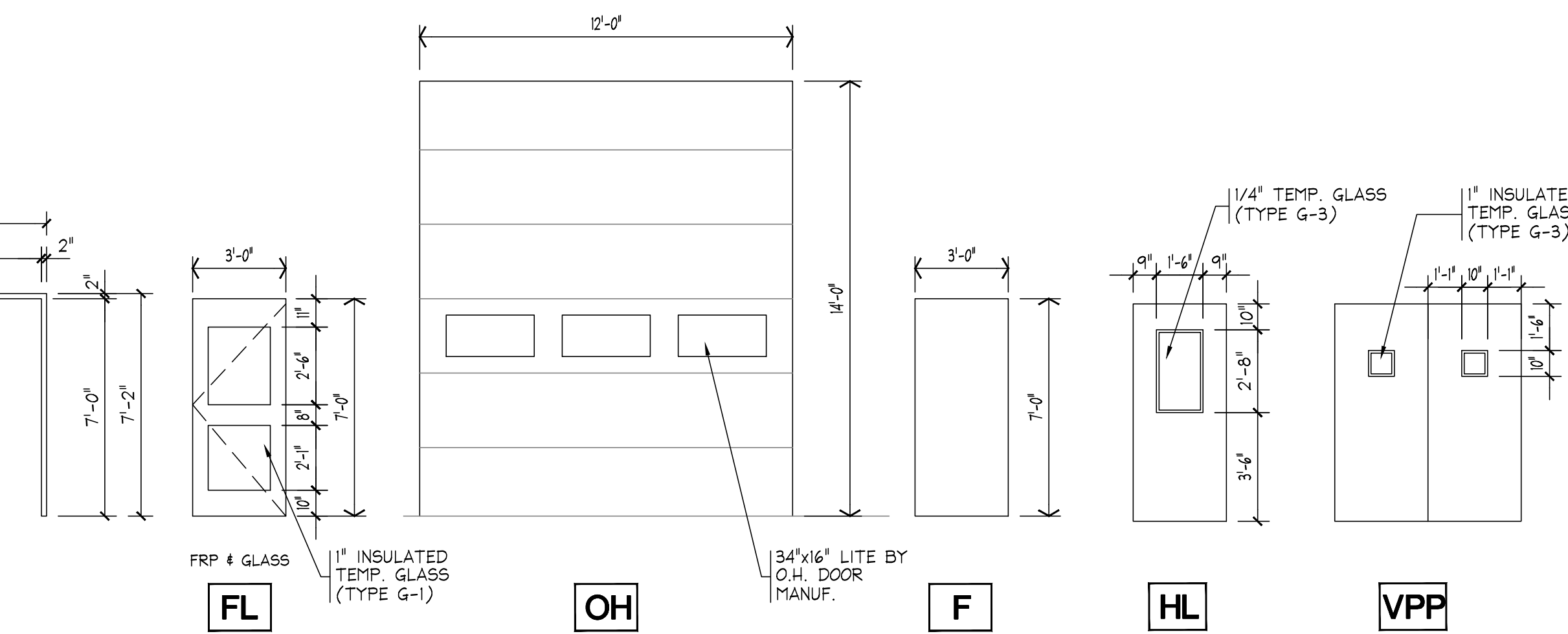
WINDOW TYPES

SCALE: 1/8" = 1'-0"



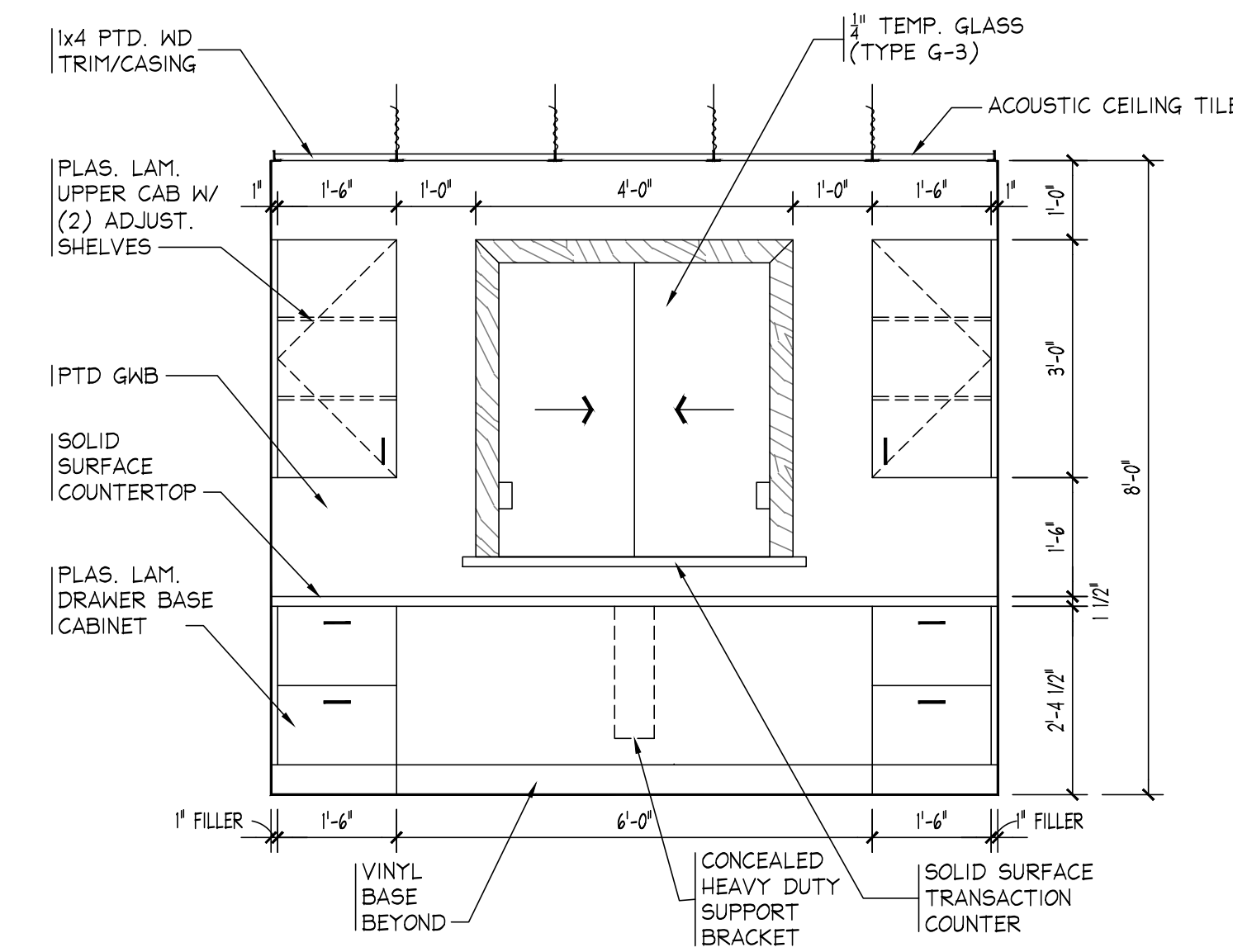
FRAME TYPES

SCALE: 1/8" = 1'-0"



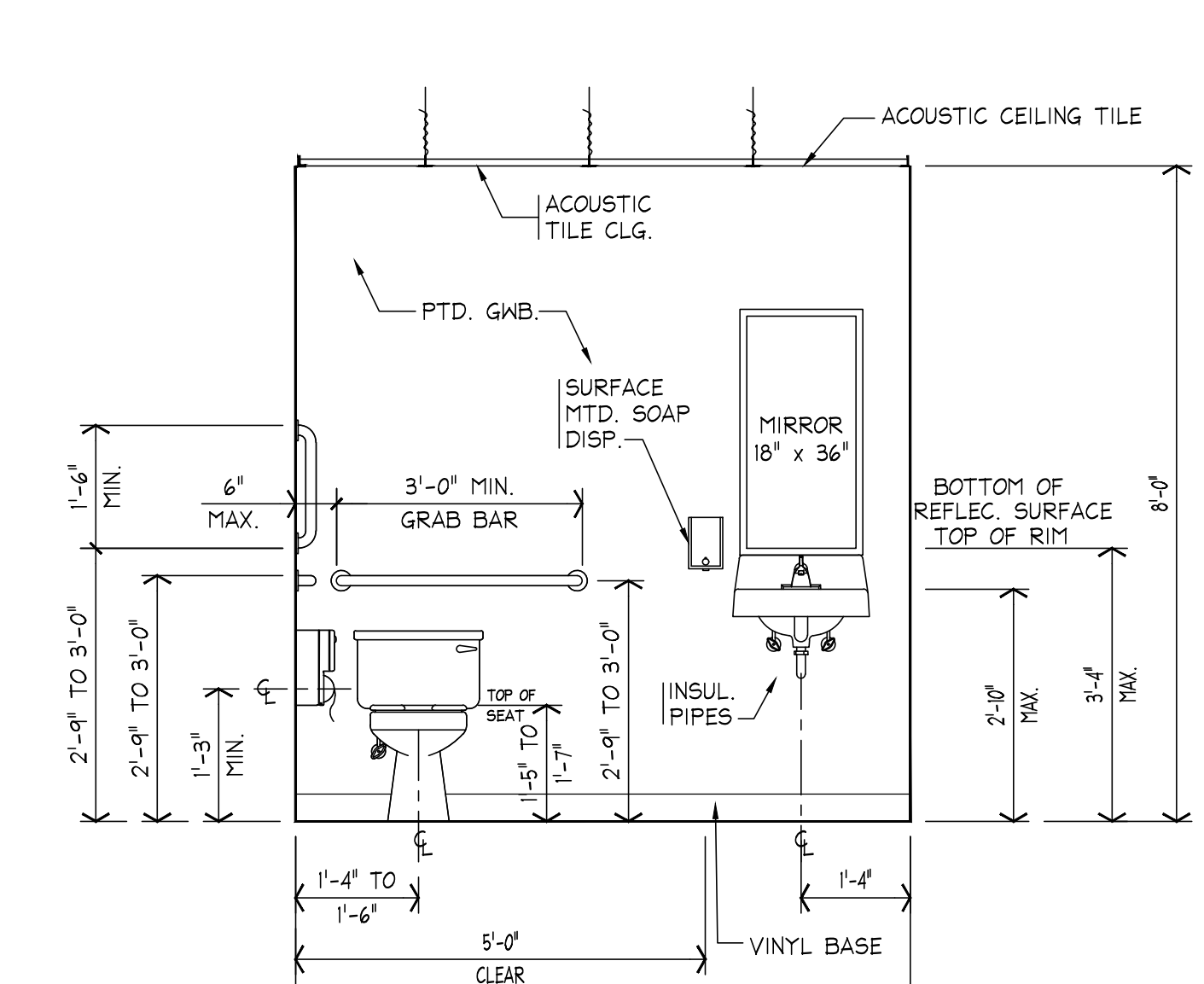
DOOR TYPES

SCALE: 1/8" = 1'-0"



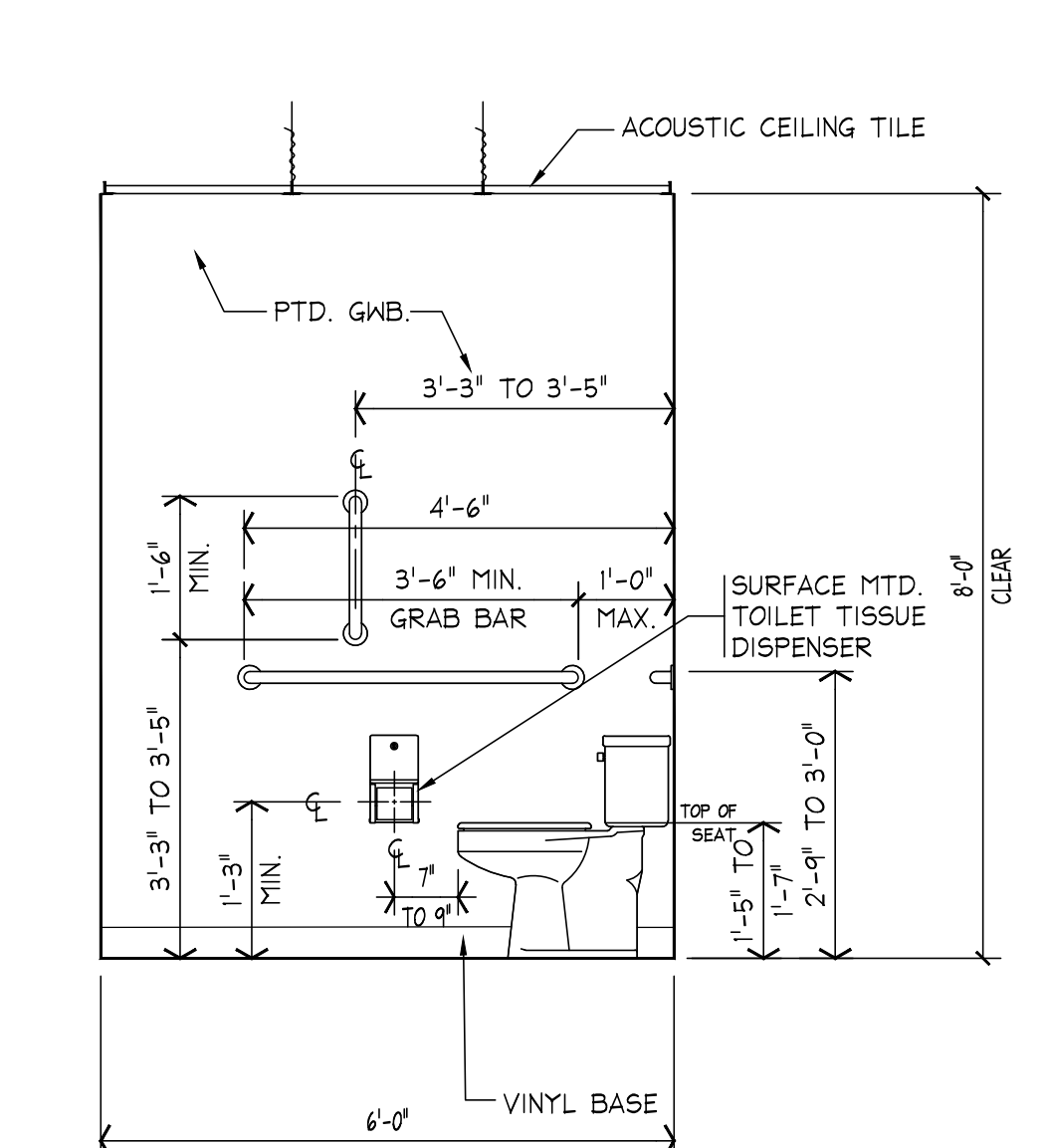
OFFICE ELEVATION

SCALE: 1/2" = 1'-0"



T.R. ELEVATION

SCALE: 1/2" = 1'-0"



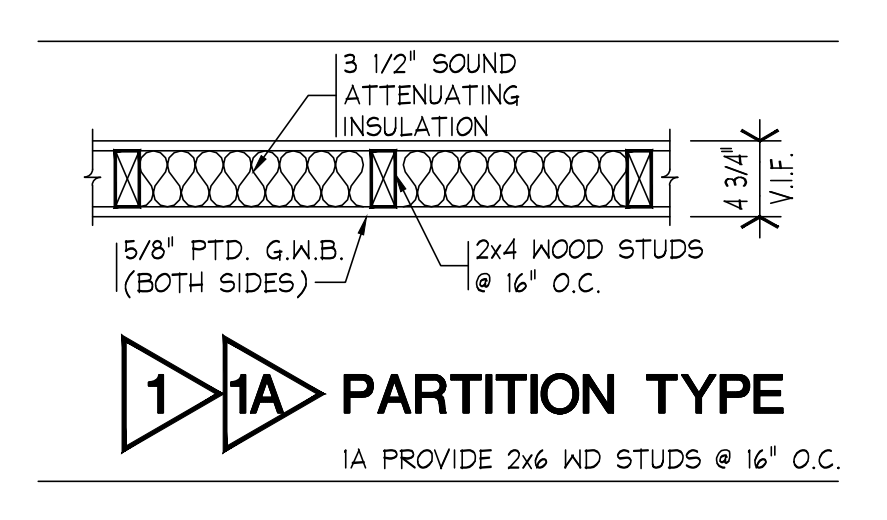
T.R. ELEVATION

SCALE: 1/2" = 1'-0"

DOOR SCHEDULE - BUILDING A											
NO.	DOOR			DOOR TYPE	FRAME		HDW. NO.	FRAME TYPE	REMARKS	NO.	
	WIDTH	HEIGHT	THK.		MATERIAL	FINISH					
1	3'-0"	7'-0"	2"	FRP.	MFR.	FL	ALUMINUM	MFR.	1	1	
2	3'-0"	7'-0"	1 3/4"	HOL. MTL.	PTD.	F	HOL. MTL.	PTD.	6	2	
3	3'-0"	7'-0"	1 3/4"	HOL. MTL.	PTD.	HL	HOL. MTL.	PTD.	7	2	
4	3'-0"	7'-0"	1 3/4"	HOL. MTL.	PTD.	HL	HOL. MTL.	PTD.	4	2	
4A	3'-0"	7'-0"	1 3/4"	HOL. MTL.	PTD.	F	HOL. MTL.	PTD.	7	2	
5	3'-0"	7'-0"	1 3/4"	HOL. MTL.	PTD.	F	HOL. MTL.	PTD.	2	2	
6	(2)3'-0"	7'-0"	1 3/4"	HOL. MTL.	PTD.	VPP	HOL. MTL.	PTD.	5	3	
7	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
8	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
9	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
10	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
11	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
12	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
13	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
14	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
15	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
16	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
17	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
18	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
19	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
20	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
21	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
22	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
23	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
24	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
25	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
26	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
27	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
28	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
29	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
29A	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
30	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
30A	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
31	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	

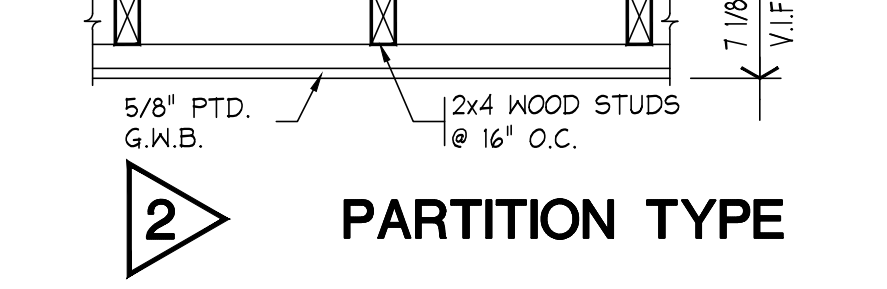
DOOR SCHEDULE - BUILDING B											
NO.	DOOR			DOOR TYPE	FRAME		HDW. NO.	FRAME TYPE	REMARKS	NO.	
	WIDTH	HEIGHT	THK.		MATERIAL	FINISH					
32	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
33	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
34	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
35	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
36	12'-0"	14'-0"		BY BLDG. MFR.		OH	BY BLDG. MFR.		8	-	
37	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	
37A	3'-0"	7'-0"	1 3/4"	FRP.	MFR.	F	ALUM.	MFR.	1	2	

- NOTES:
- ALL DOOR HARDWARE TO CONFORM TO NJ UCC BARRIER-FREE SUBCODE.
 - COORDINATE ALL HARDWARE AND KEYING W/ OWNER.
 - PROVIDE CEILING MOUNTED 1/2 HP TROLLEY OPERATORS AT ALL OVERHEAD DOORS; PROVIDE (2) REMOTE OPERATORS FOR EACH DOOR LOCATION.
 - OVERHEAD DOORS, HARDWARE AND MOTORIZED OPERATORS BY BUILDING MANUFACTURER. SEE SPECIFICATION FOR ADDITIONAL INFORMATION.

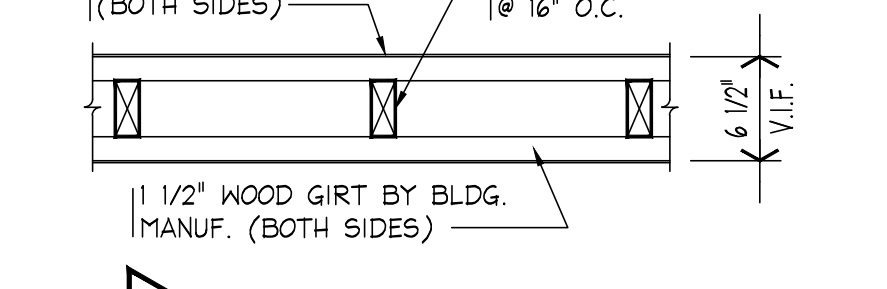


PARTITION TYPE 1A

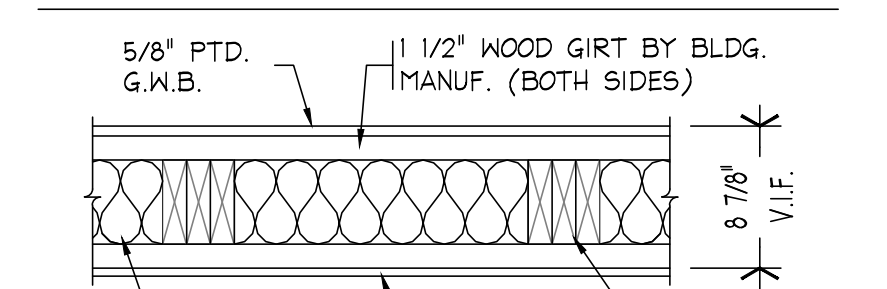
1A PROVIDE 2x6 WD STUDS @ 16" O.C.



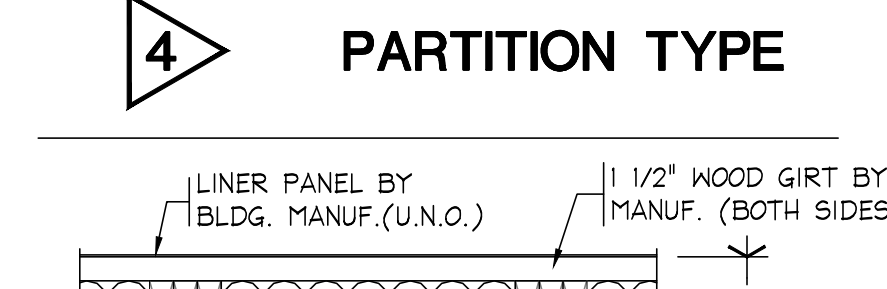
PARTITION TYPE 2



PARTITION TYPE 3



PARTITION TYPE 4



PARTITION TYPE 5

Revisions		
No.	Date	Description

- NOTES:
- PROVIDE/INSTALL MOISTURE & MOLD RESISTANT G.W.B. IN ALL TOILET ROOMS AND JANITORS CLOSETS.
 - EXTEND PERIMETER PARTITIONS OF FINISHED OFFICE AREA(S) TO UNDERSIDE OF ROOF STRUCTURE ABOVE.
 - OVERHEAD DOORS (BY BUILDING MANUF.) ARE TO BE MANUFACTURED BY G.H.I. OVERHEAD DOORS; MODEL NO. 3265 OR APPROVED EQUAL. MOTORIZED OPERATOR TO BE MANUFACTURED BY RATNOR; CONTROL HOIST STANDARD COMMERCIAL OPERATOR OR APPROVED EQUAL. 3/4" HP DOOR FINISH TO BE SELECTED BY ARCHITECT. SEE SPECIFICATION FOR ADDITIONAL INFORMATION.
 - AT EACH OVERHEAD DOOR LOCATION PROVIDE/INSTALL STANDARD (3) BUTTON WALL MOUNTED CONTROL STATION WITH OPERATOR/CLOSED ADJACENT TO OVERHEAD DOOR (TYP).
 - PROVIDE 3/4" PLYWOOD IN LIEU OF 3/8" PTD. G.W.B. IN IT ROOM - ALL WALLS FULL HEIGHT.

GLAZING TYPES

TYPE	DESCRIPTION
G-1	1" INSULATED TEMPERED
G-2	1" INSULATED
G-3	1/4" TEMPERED

SEE SPECIFICATION FOR ADDITIONAL INFORMATION ON GLAZING TYPES.

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Project

NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

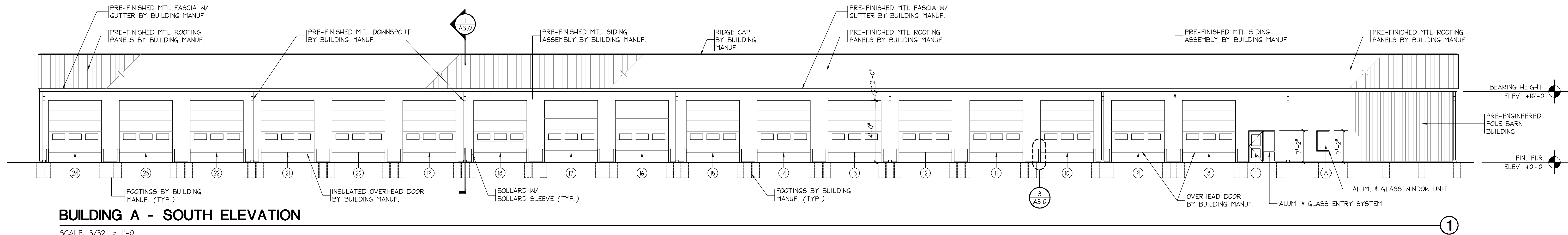
72 W. PARK AVE
VINELAND, NJ 08360

Drawing
ENLARGED FLOOR PLAN,
REFLECTED CEILING PLAN,
PARTITION TYPES,
SCHEDULES, DOOR, FRAME,
& WINDOW TYPES

Scale	Job	Sheet
AS NOTED	23.089	A1.1
Drawn	Date	
NDZ/CSM	10/08/24	3 of 5

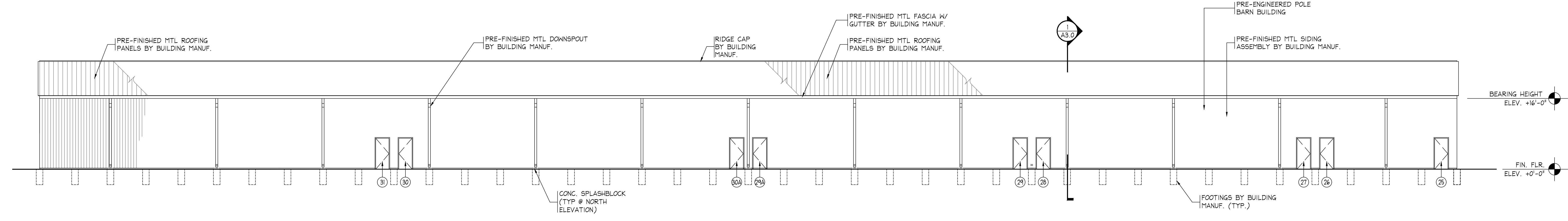
Revisions		
No.	Date	Description

NOTES:
 1. BOLLARD SLEEVES TO BE MANUFACTURED BY IDEAL SHIELD OR APPROVED EQUAL. 1/2" THK. POLYETHYLENE THERMOPLASTIC SLEEVE; SMOOTH FINISH; SIZE/DIAMETER AS INDICATED ON DRAWINGS; COLOR SELECTED BY ARCHITECT.



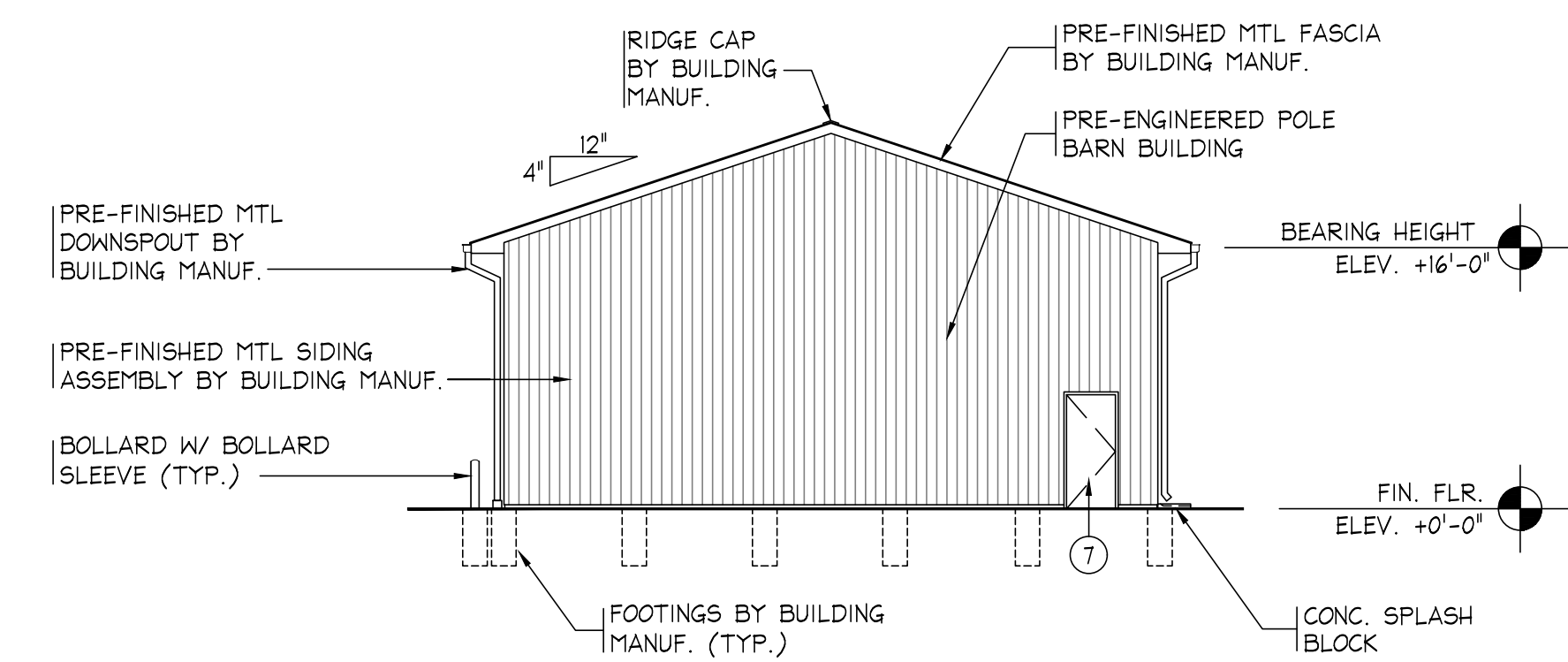
BUILDING A - SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



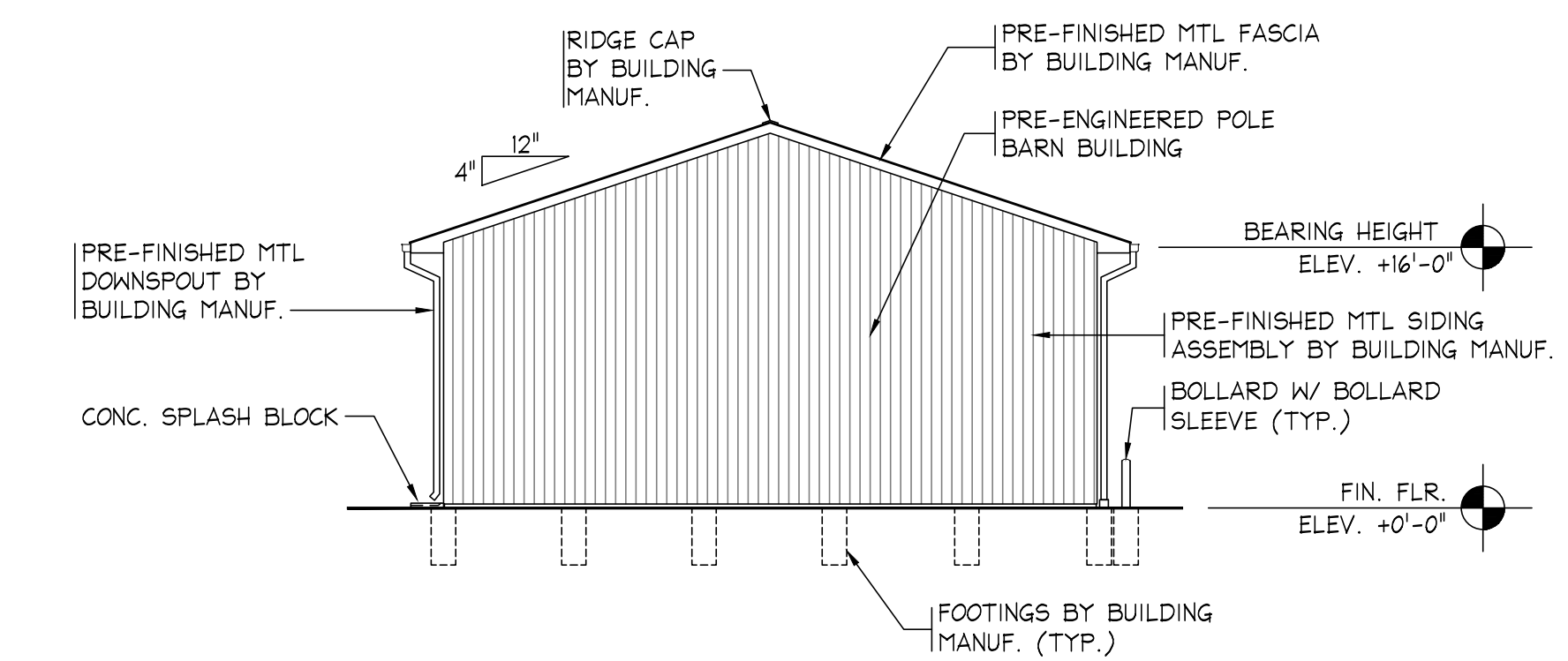
BUILDING A - NORTH ELEVATION

SCALE: 3/32" = 1'-0"



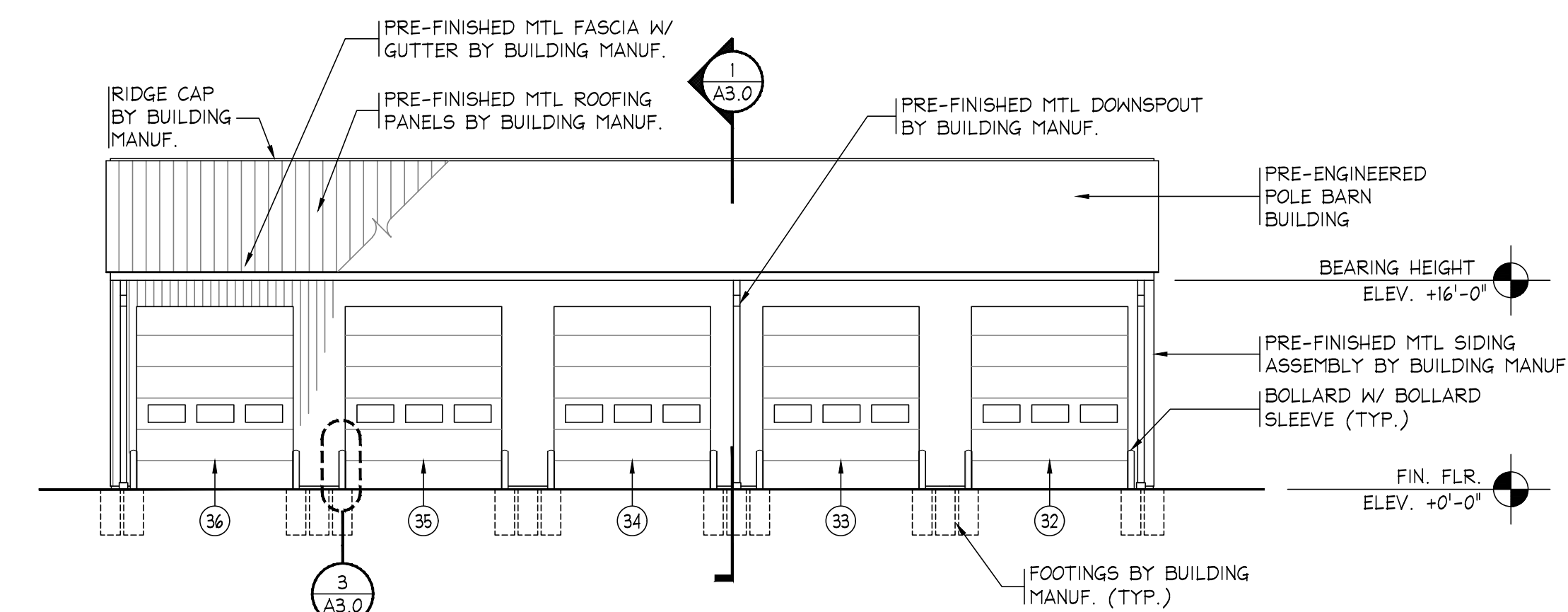
BUILDING A - WEST ELEVATION

SCALE: 3/32" = 1'-0"



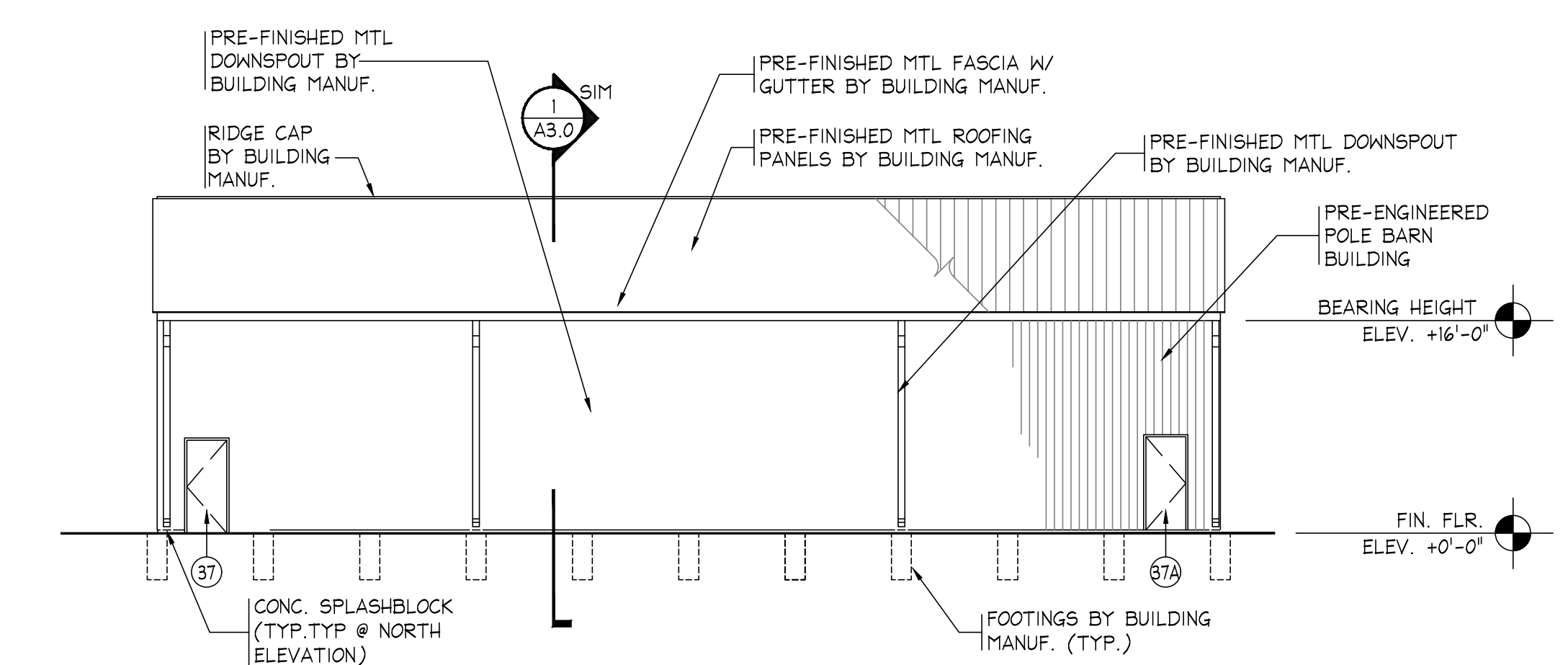
BUILDING A - EAST ELEVATION

SCALE: 3/32" = 1'-0"



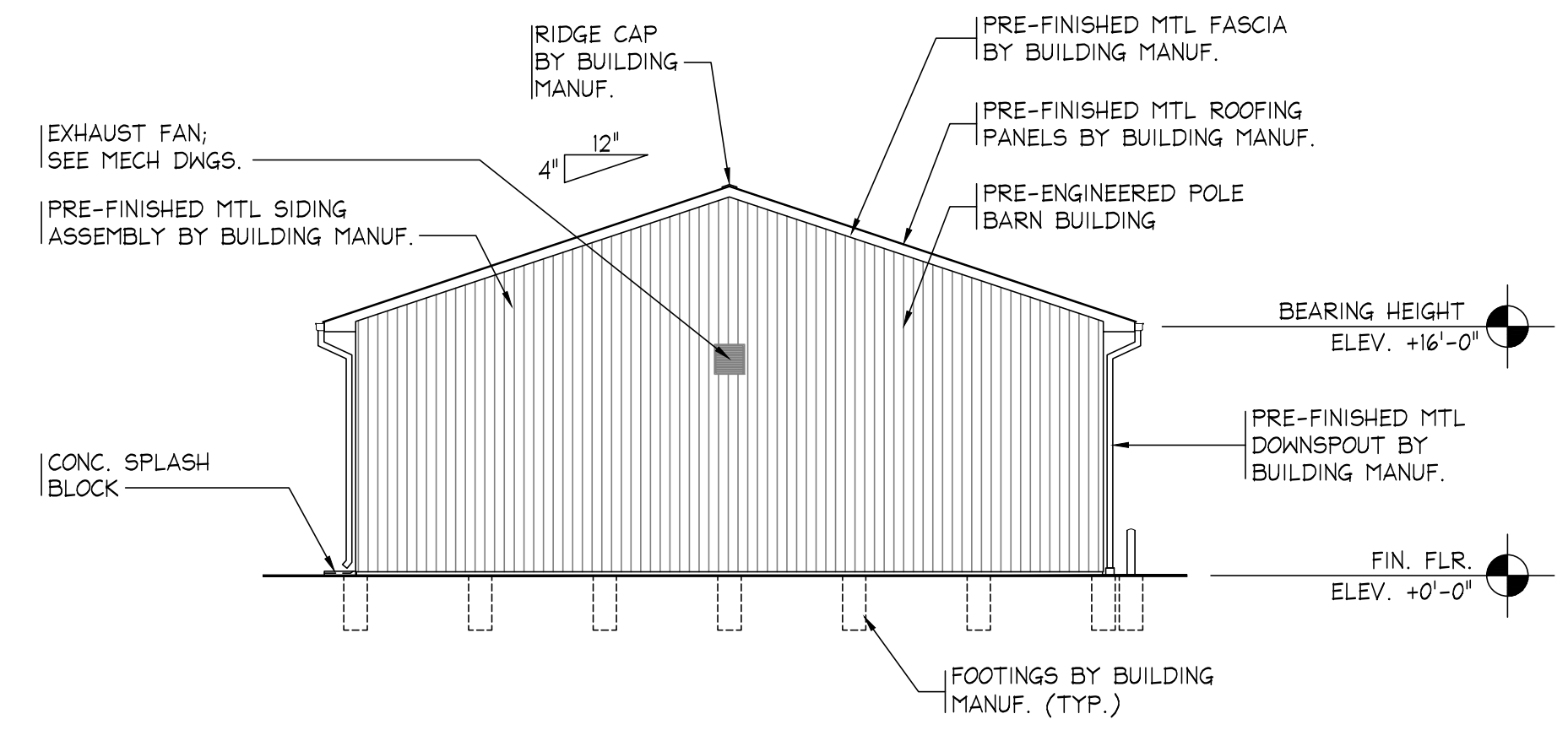
BUILDING B - SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



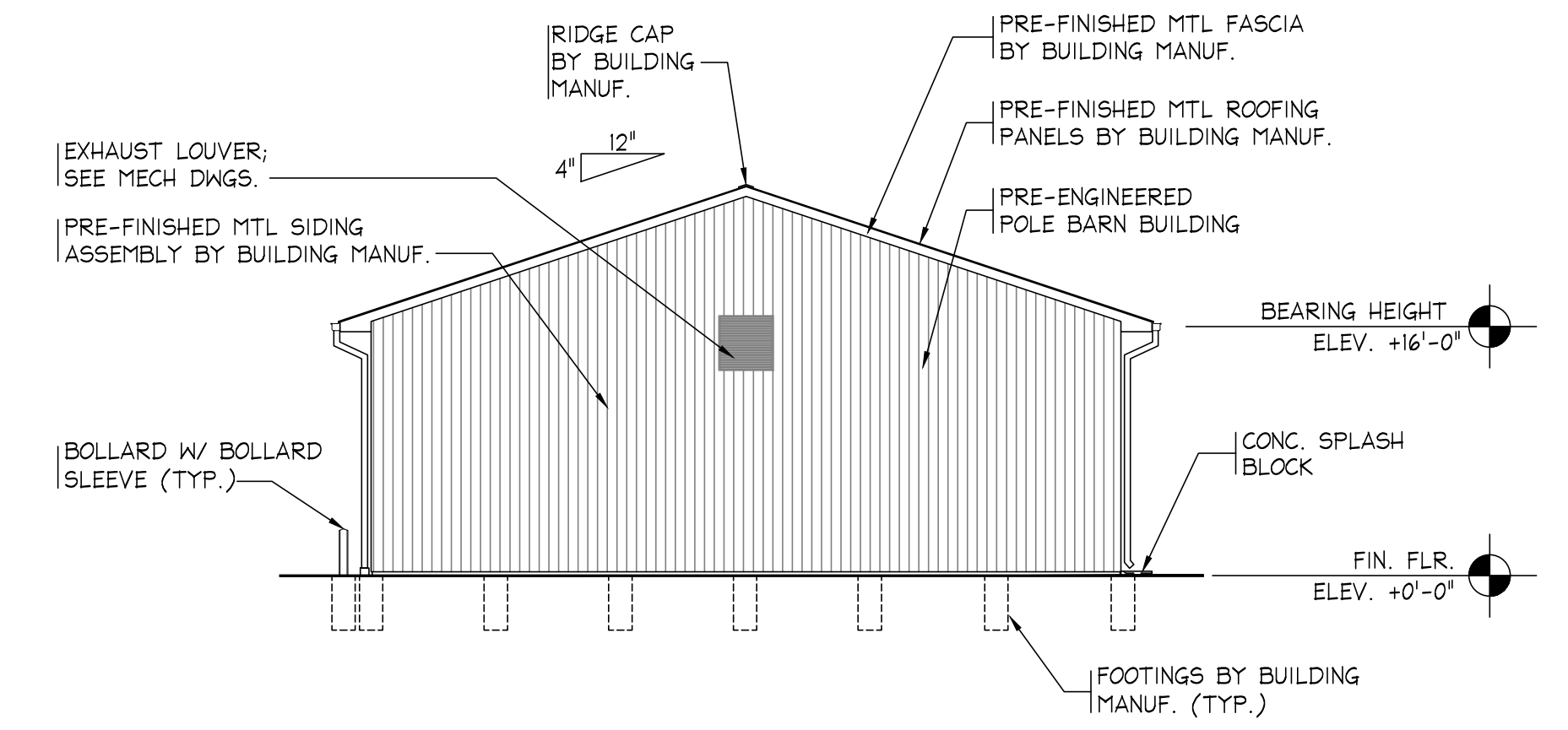
BUILDING B - NORTH ELEVATION

SCALE: 3/32" = 1'-0"



BUILDING B - WEST ELEVATION

SCALE: 3/32" = 1'-0"



BUILDING B - EAST ELEVATION

SCALE: 3/32" = 1'-0"

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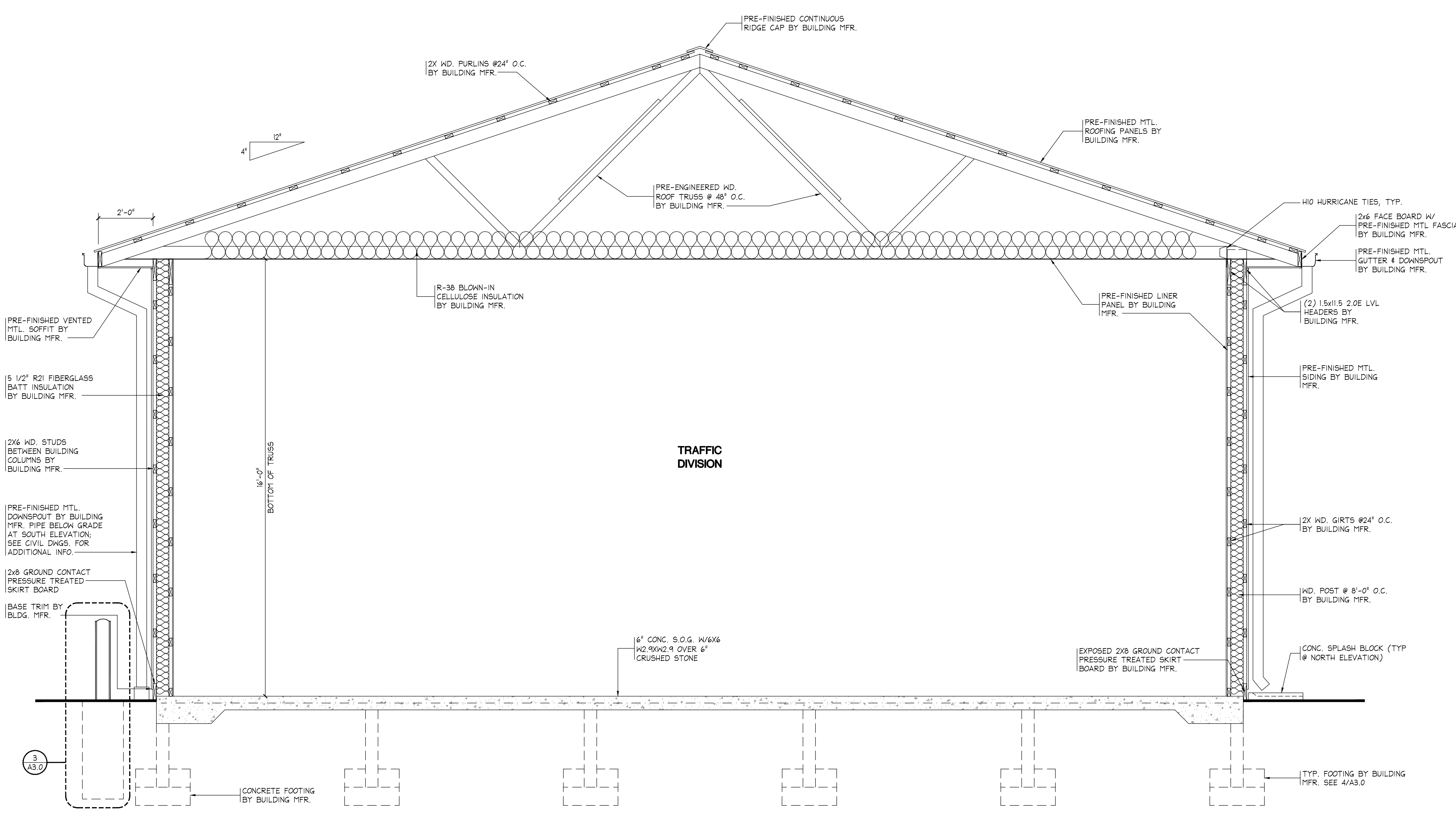
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AJ-07220
 AJ-07473
 AJ-13038
 AJ-13618

Project
NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

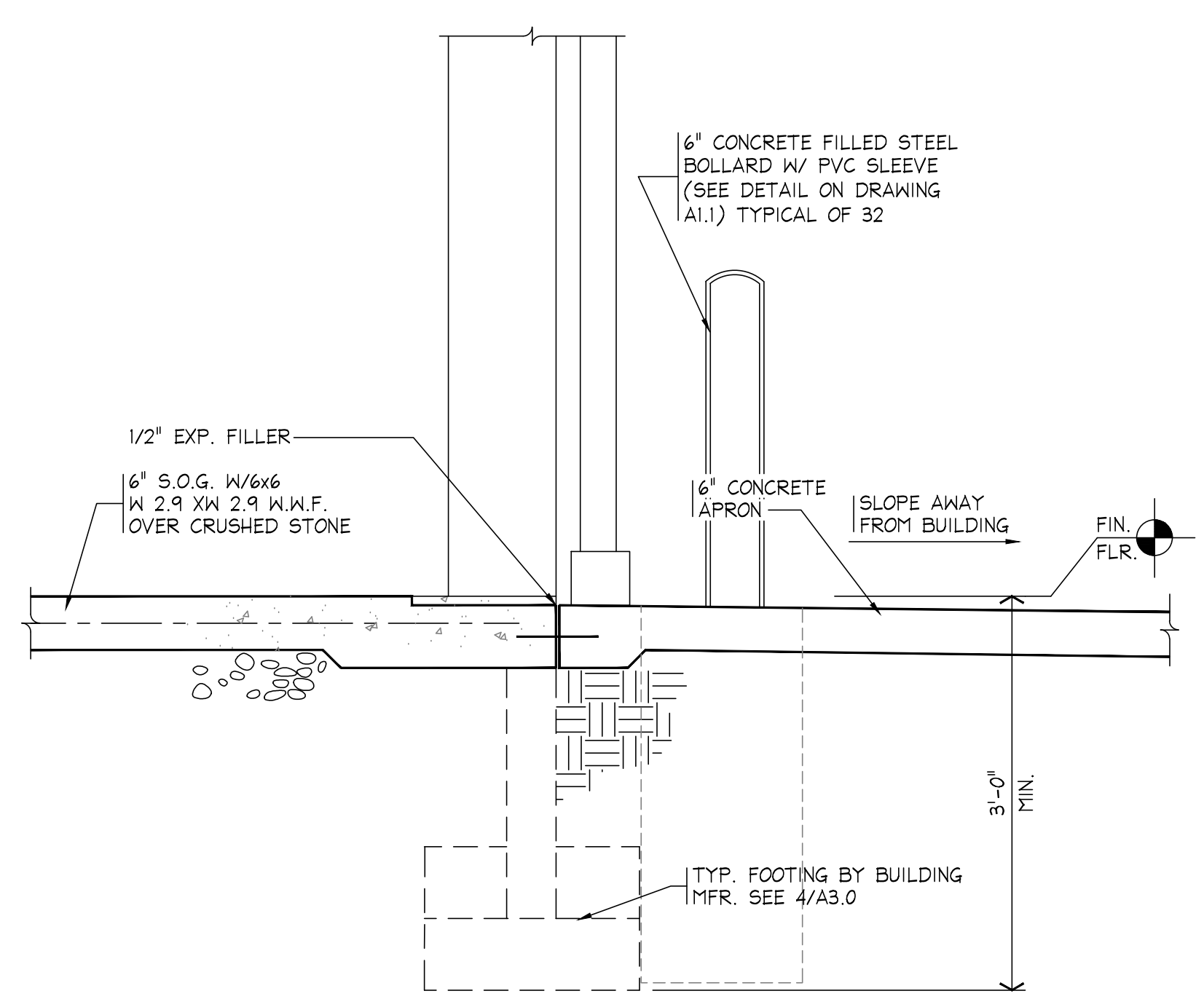
72 W. PARK AVE
 VINELAND, NJ 08360

Drawing		
BUILDING ELEVATIONS		
Scale	Job	Sheet
AS NOTED	23.089	A2.0
Drawn	Date	4 of 5
NDZ/ANA/CSM	10/08/24	



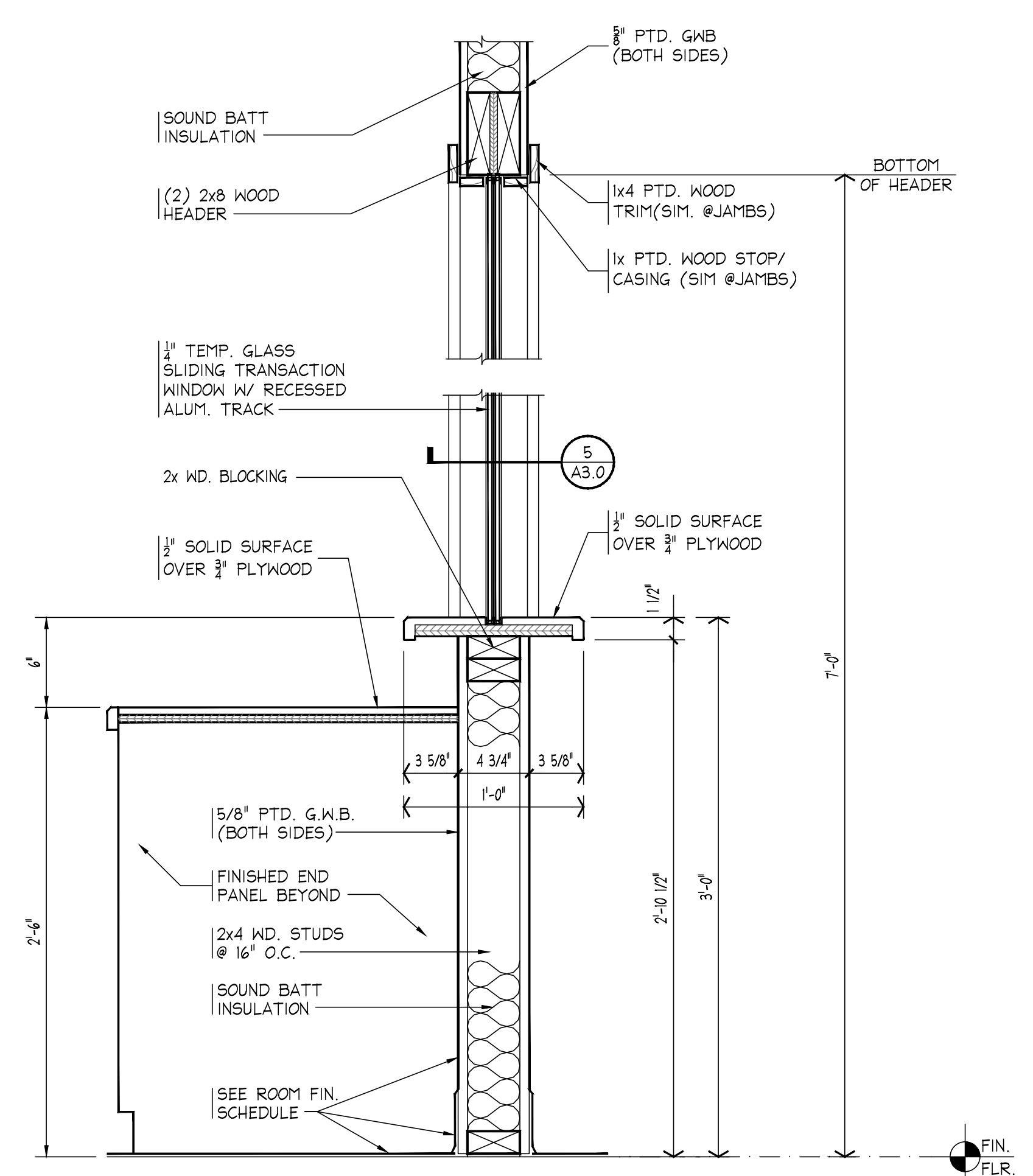
BUILDING SECTION - BUILDING A (BUILDING B SIMILAR)

SCALE: 1/2" = 1'-0"



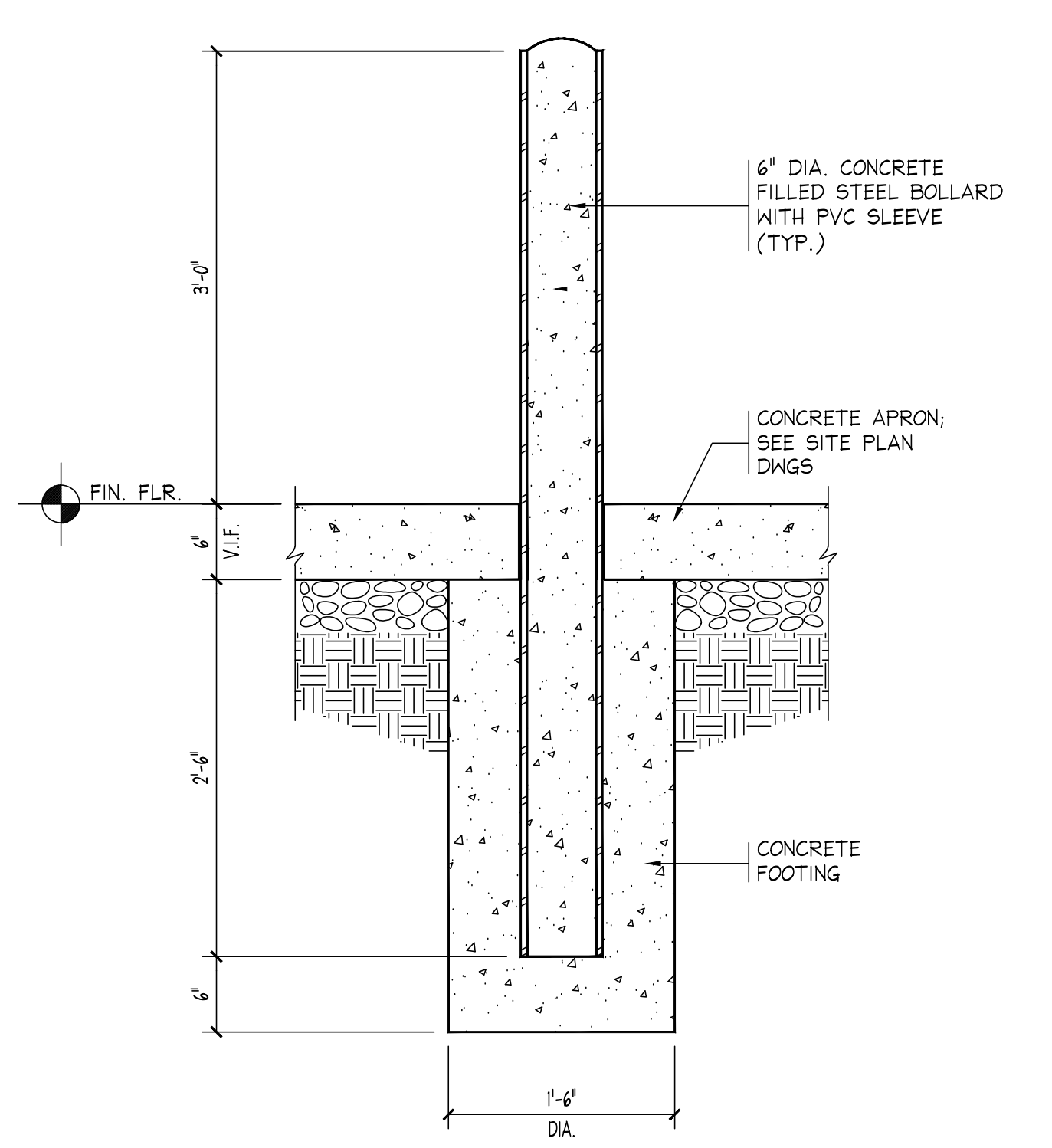
WALL SECTION @ OVERHEAD DOOR

SCALE: 3/4" = 1'-0"



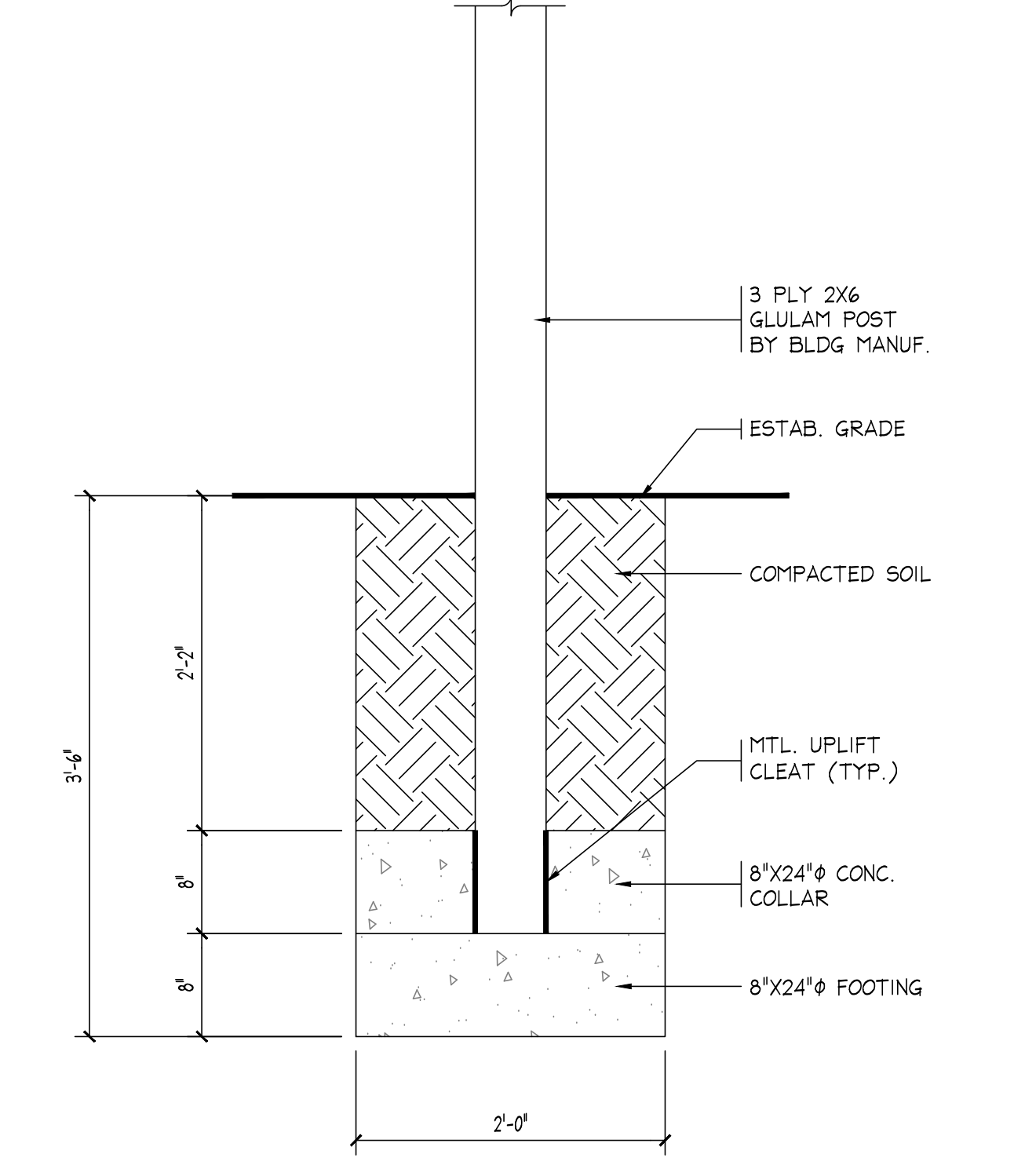
TRANSACTION WINDOW DETAIL

SCALE: 1 1/2" = 1'-0"



BOLLARD DETAIL

SCALE: 1" = 1'-0"

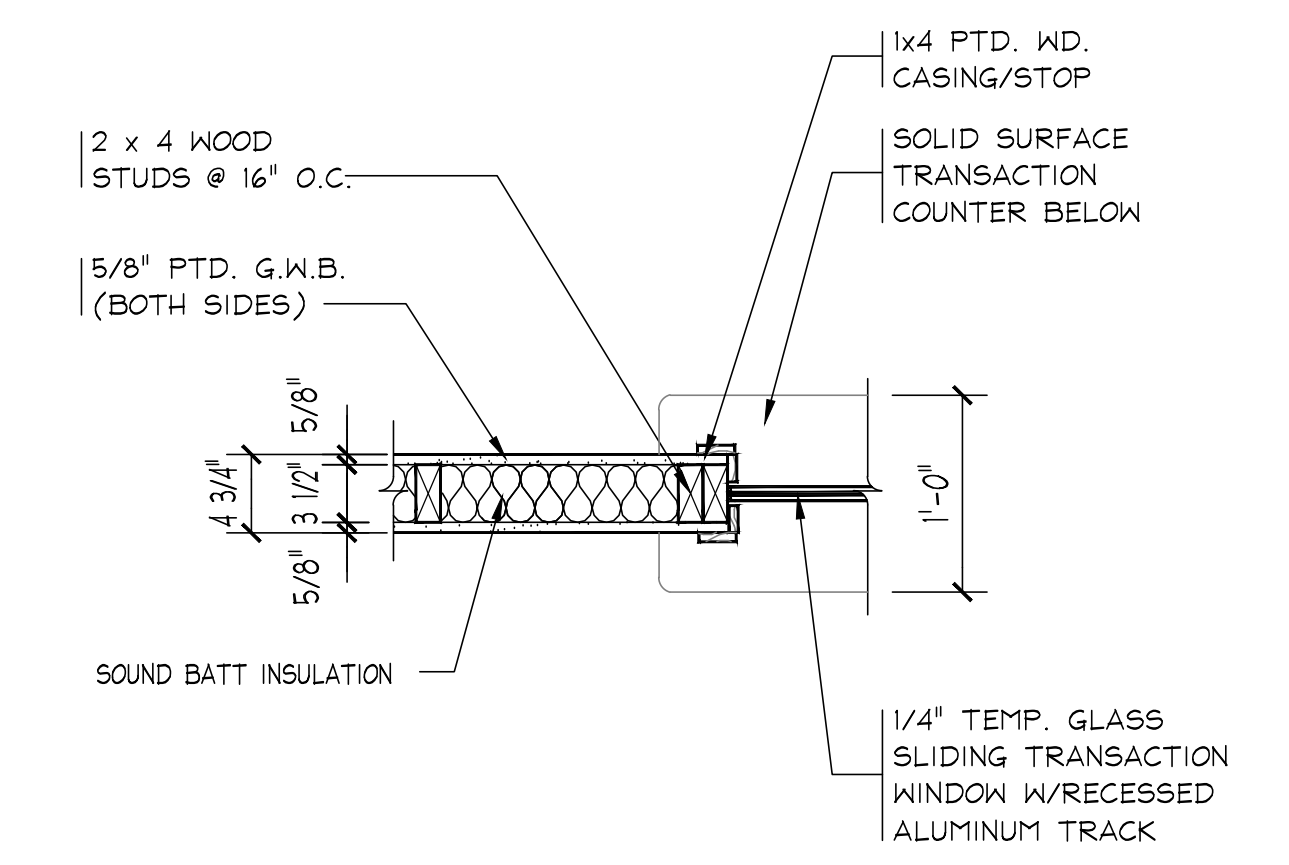


FOUNDATION DETAIL

SCALE: 1" = 1'-0"

ROOM NAME	GRAB BARS		MOP HOOK	MIRROR	SOAP DISPENSER	PAPER TOWEL DISPENSER	TOILET TISSUE DISPENSER
	(B-1)	(B-2)	(M-1)	(M-1)	(S-1)	(P-1)	(T-1)
PUBLIC WORKS OFFICE T.R.	(1)	(1)	(1)	(1)	(1)	(1)	(1)
JANITOR'S CLOSET	-	-	-	(1)	-	-	(1)

NOTES: 1. LISTED 'B' MODEL NO.'S ARE BY 'BOBRICK' - STAINLESS STL. W/ SATIN FINISH UNLESS NOTED OTHERWISE
2. GC TO PROVIDE WOOD BLOCKING FOR ALL OWNER SUPPLIED TOILET ROOM ACCESSORIES; COORDINATE FINAL LOCATION WITH OWNER INSTALLATION OF OWNER PROVIDED ACCESSORIES IS BY G.C.



JAMB DETAIL

SCALE: 1" = 1'-0"

Revisions	
No.	Description

NOTES:
1. G.C. TO PROVIDE AND INSTALL ATTIC DRAFTSTOPPING IN ACCORDANCE WITH 2021 IBC-NJ EDITION SECTION 713.4 SECT. THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 S.F.
2. WOOD CASING AT TRANSACTION WINDOW TO BE 1x PAINT GRADE POPLAR, WOOD STOPS TO BE PAINT GRADE POPLAR, SIZE AS REQUIRED.
3. AT BUILDING A, GENERAL CONTRACTOR TO SUPPLY AND INSTALL A 10 MIL. POLY VAPOR BARRIER BELOW CONC. FLOOR SLAB AT STORAGE R., INCLUDING JAN. CLOSET, TOILET ROOM, VESTIBULE, OFFICE AND IT.
4. AT BUILDING B GENERAL CONTRACTOR TO SUPPLY AND INSTALL A 10 MIL. POLY VAPOR BARRIER BELOW CONC. FLOOR SLAB AT ENTIRETY OF BUILDING
5. G.C. TO PROVIDE AND INSTALL FIRE BLOCKING IN ALL INTERIOR AND EXTERIOR PARTITIONS IN ACCORDANCE WITH 2021 IBC-NJ EDITION SECTION 718

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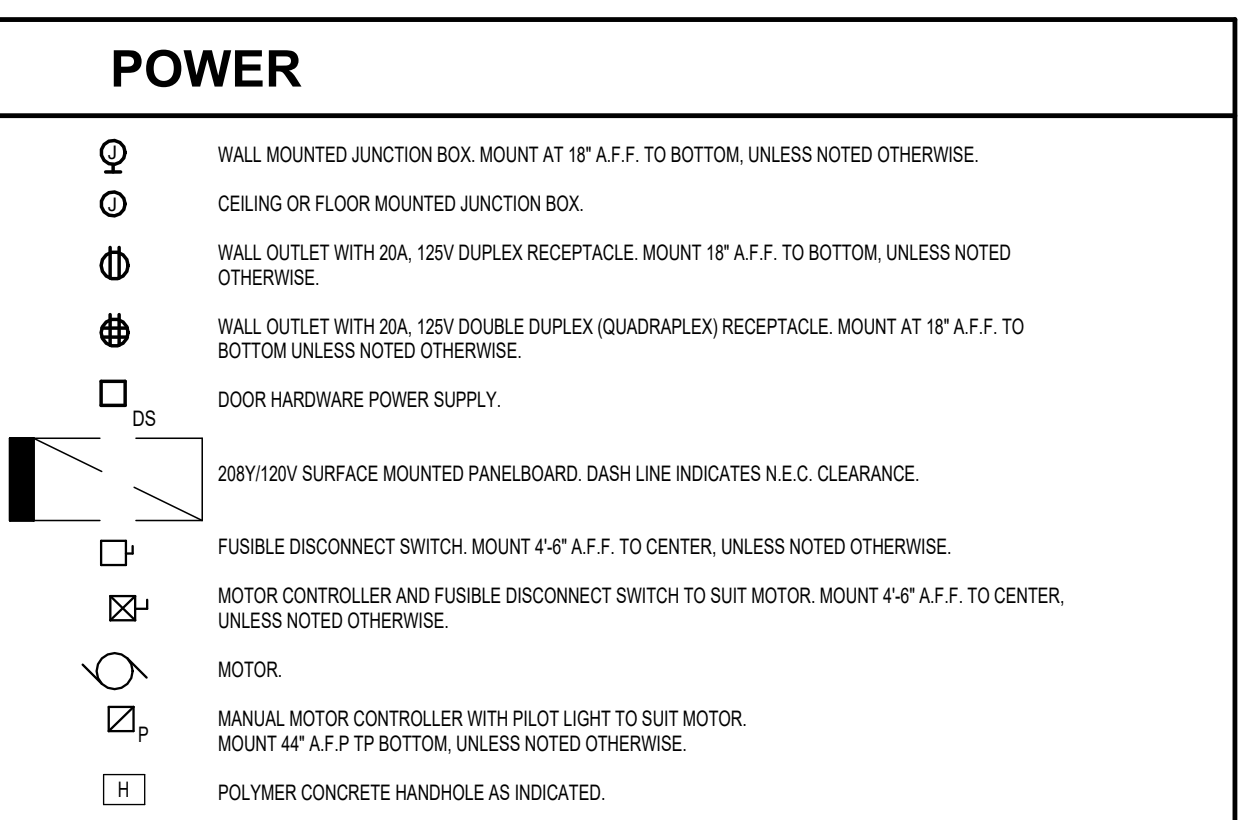
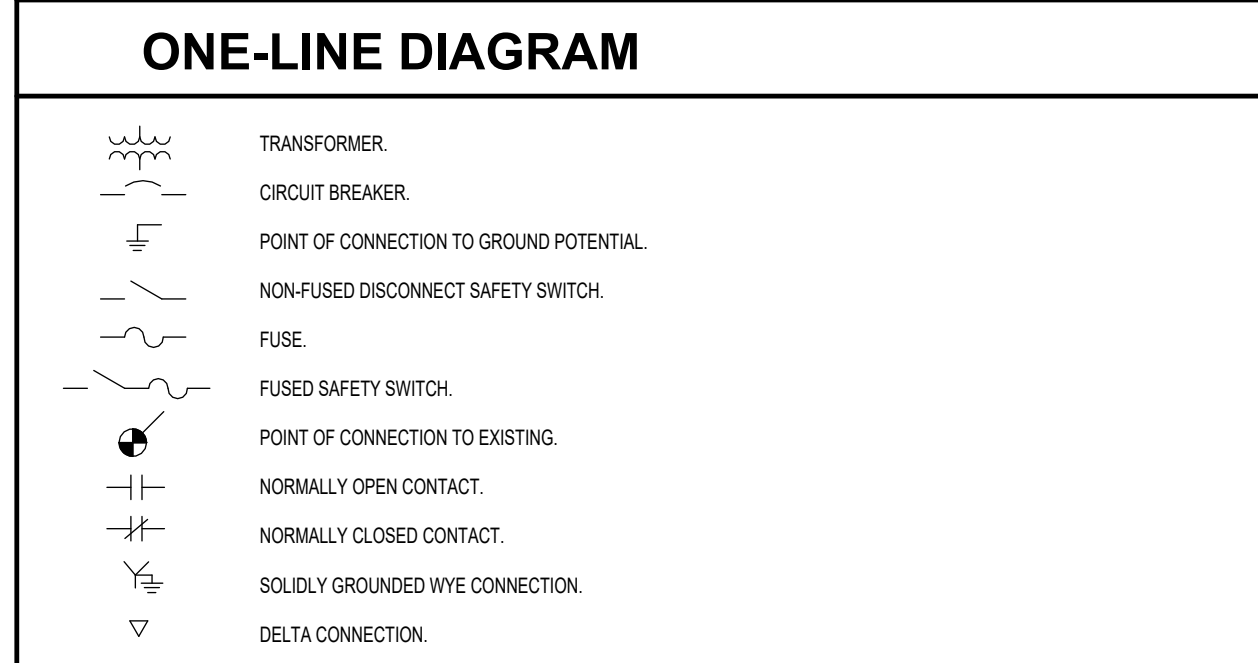
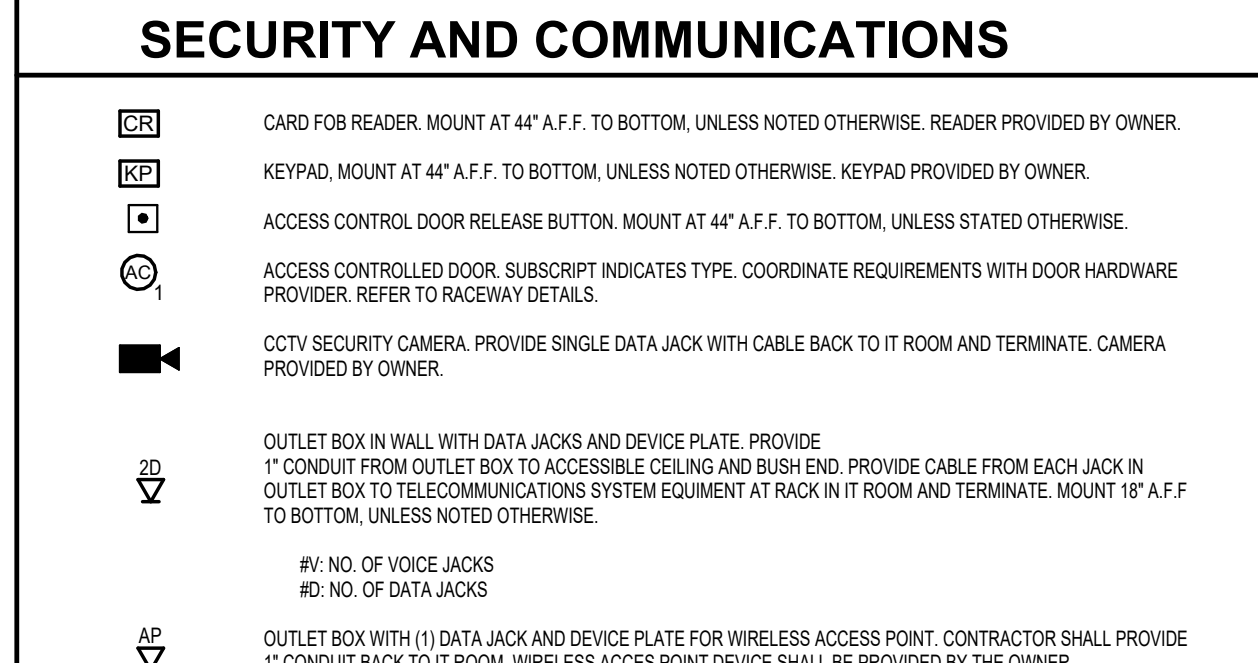
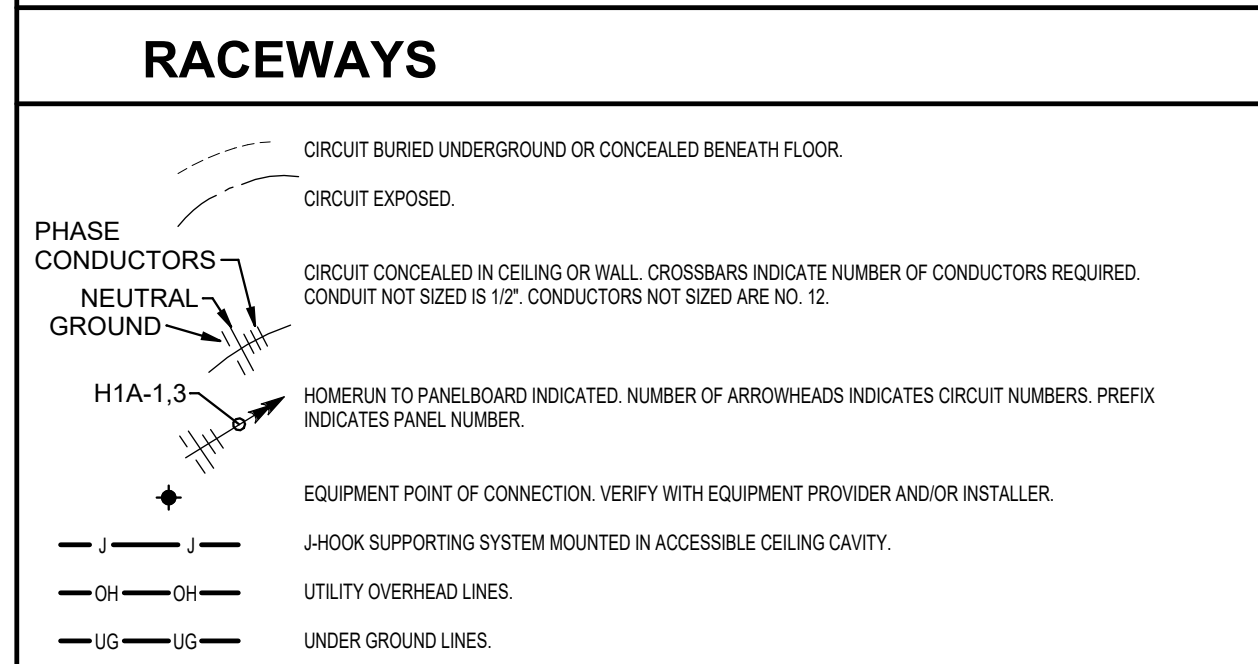
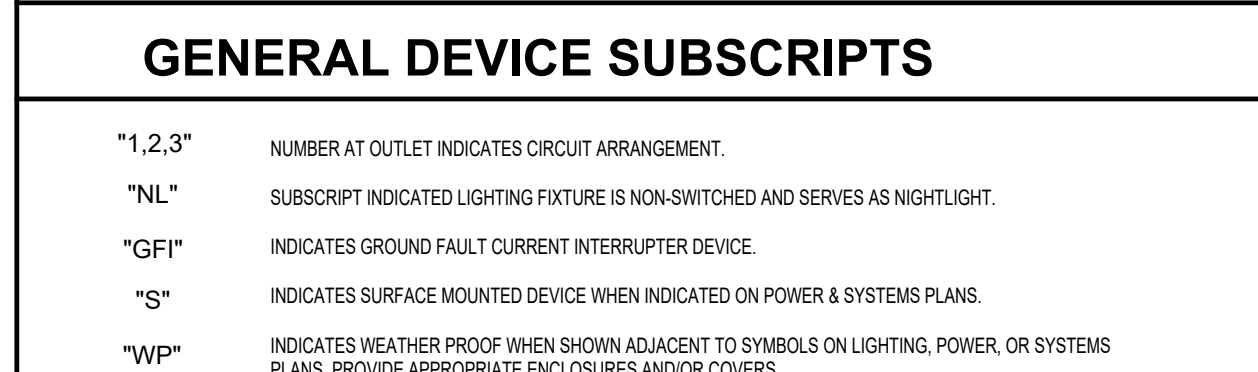
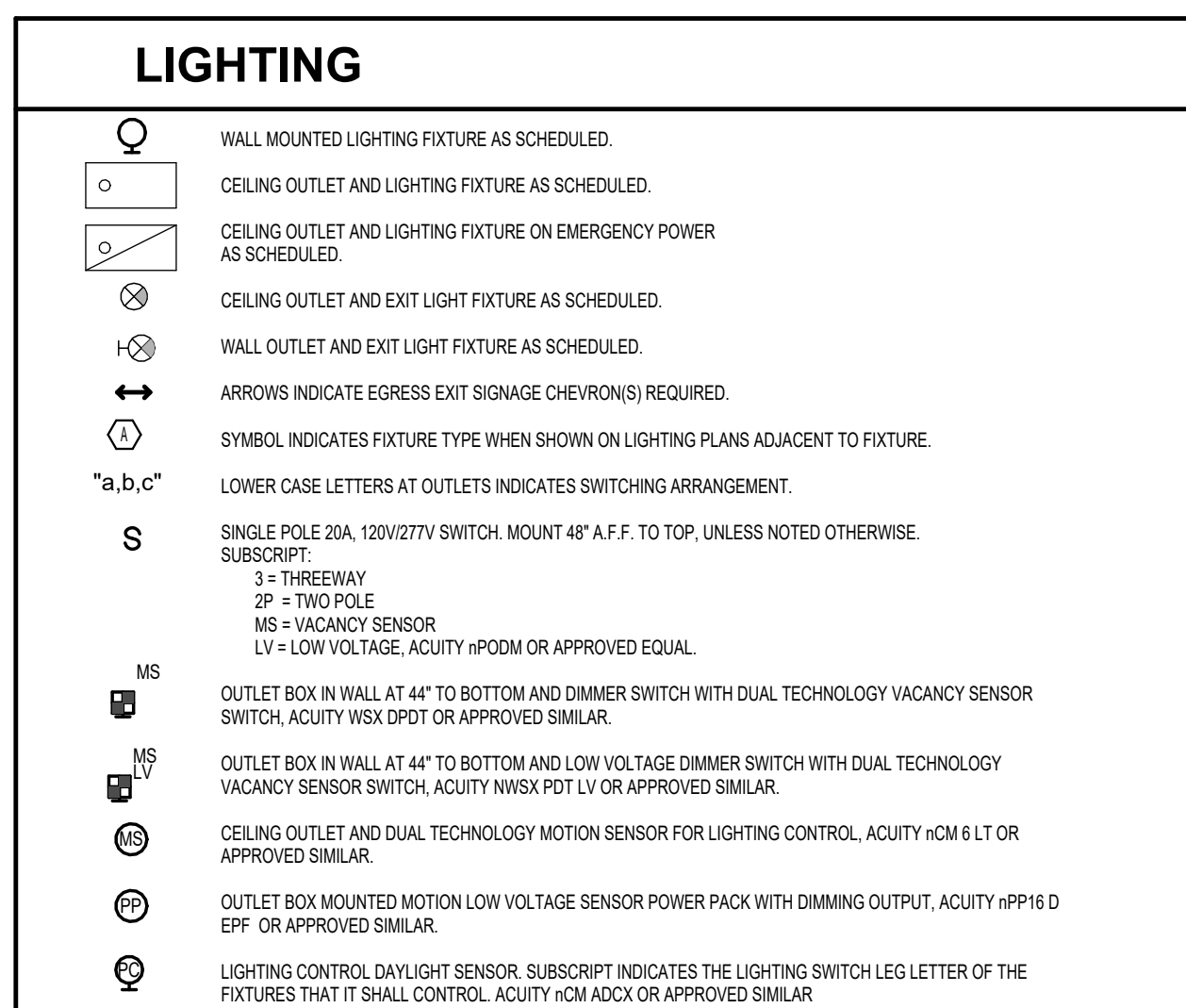
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Project
NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS
72 W. PARK AVE
VINELAND, NJ 08360

Drawing
BUILDING SECTIONS & DETAILS

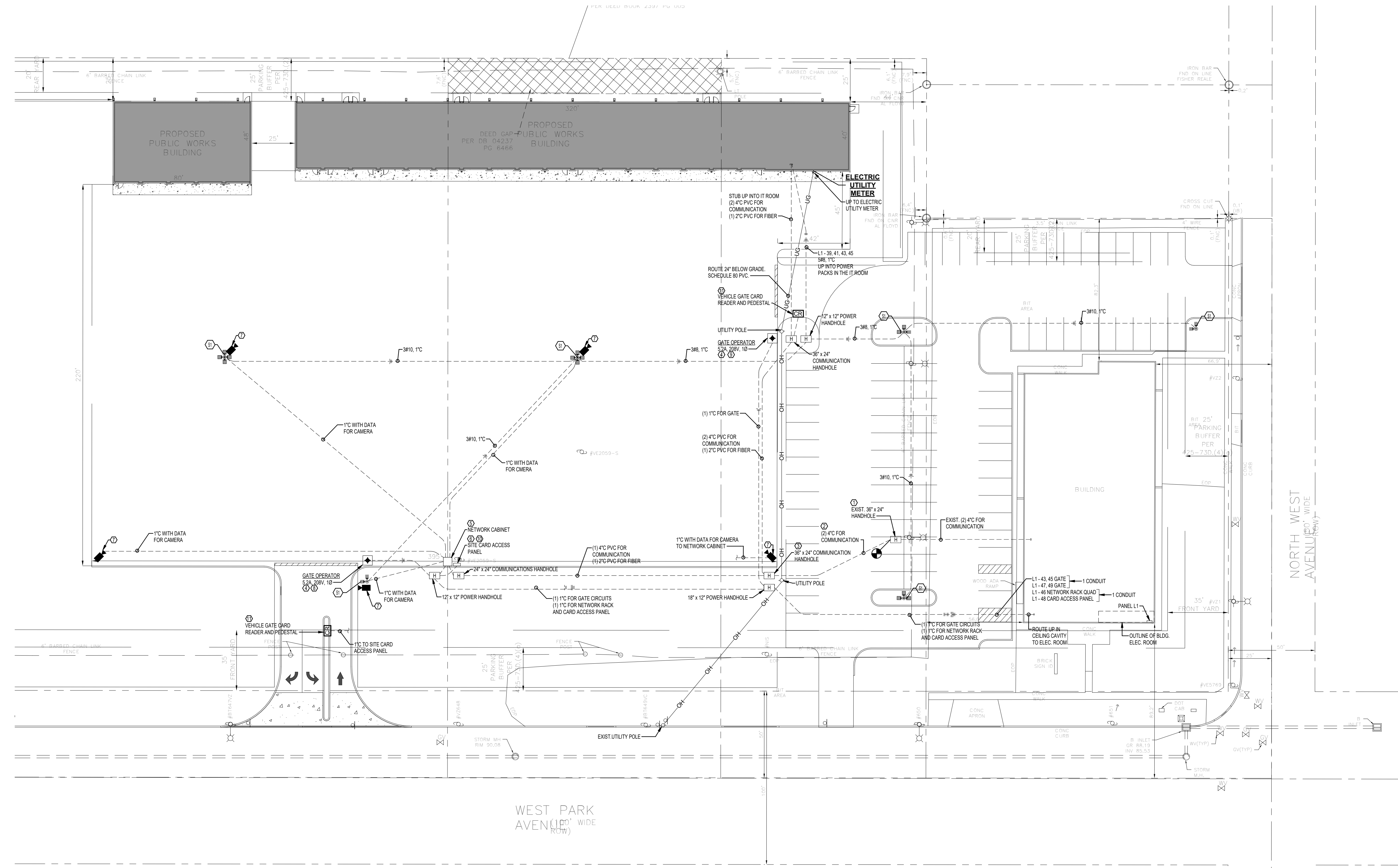
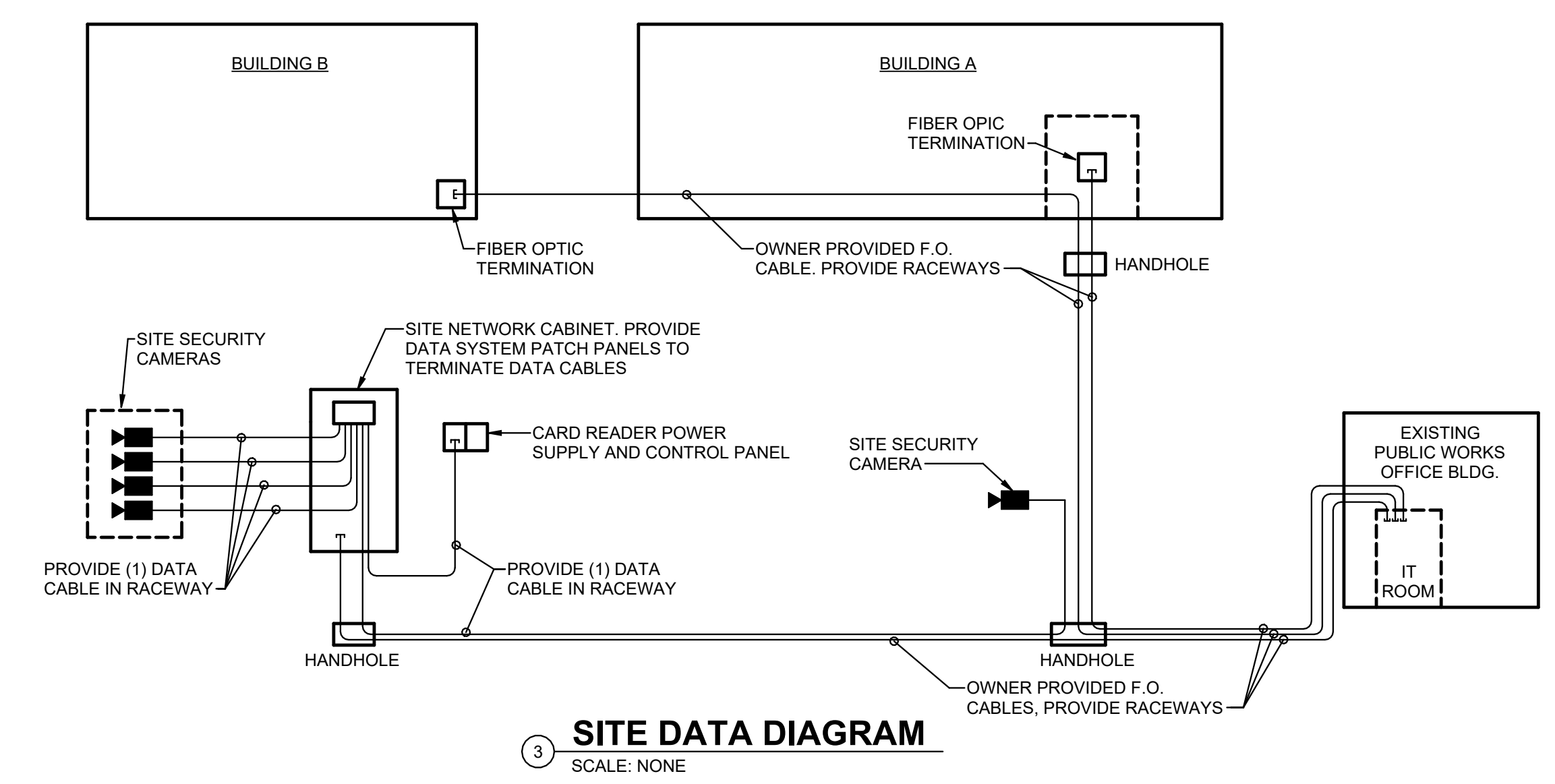
Scale	Job	Sheet
AS NOTED	23.089	A3.0
Drawn	Date	5 of 5
NDZ/CSM	10/08/24	



BRANCH CIRCUIT VOLTAGE DROP TABLE

WIRE SIZE	MAXIMUM CIRCUIT LENGTH
20A, 120V, 1P	
#12 AWG	61 FEET
#10 AWG	102 FEET
#8 AWG	154 FEET
#6 AWG	240 FEET

- LENGTHS REPRESENT THE MAXIMUM CIRCUIT LENGTH BASED ON THE WIRE SIZE AND COPPER CONDUCTORS FOR A MINIMUM VOLTAGE DROP OF 3%.
- LENGTHS SHALL BE MEASURED FROM PANELBOARD TO THE FARTHEST DEVICE CONNECT TO CIRCUIT.
- THE PHASE AND NEUTRAL CONDUCTORS SHALL BE SIZED AS INDICATED FOR THE ENTIRE LENGTH OF RUN.
- IF CONDUCTORS ARE UPSIZED FOR VOLTAGE DROP, GROUND CONDUCTORS SHALL ALSO BE UPSIZED PER NEC 250.102.



SITE PLAN

SCALE: 1" = 30'-0"

RELEASE / REVISION

No.	Date	Description

- ### ELECTRICAL GENERAL NOTES:
- PROVIDE ALL TEMPORARY EGRESS EXIT LIGHTING FIXTURES AS REQUIRED DURING CONSTRUCTION.
 - COORDINATE CONDUIT ROUTING WITH MECHANICAL CONTRACTOR TO AVOID CONFLICTS WITH EQUIPMENT AND EQUIPMENT CLEARANCES.
 - SEAL AROUND ALL NEW AND EXISTING PENETRATIONS THROUGH RATED WALLS WITH FIRE STOPPING. REFER TO ARCHITECTURAL RATINGS DETAIL KEY PLAN FOR RATED WALL LOCATIONS.
 - FINAL CONNECTION TO ALL CEILING MOUNTED DEVICES SHALL BE MADE WITH FLEX CONDUIT.
 - FIRE ALARM SYSTEM SHALL BE INSTALLED IN CONDUIT. FIRE ALARM WIRING SHALL COMPLY WITH NEC 760.
 - COORDINATE LIGHTING FIXTURE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN.
 - PROVIDE FIRE INTUMESCENT PUTTY PAD BEHIND / AROUND ALL ELECTRICAL RACKS/BOXES INSTALLED WITHIN FIRE RATED WALLS. PUTTY PADS SHALL BE SPECIFIED TECHNOLOGIES, INC. SERIES SSP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. REFERENCE ARCHITECTURAL RATINGS DETAIL KEY PLAN FOR RATED WALL LOCATIONS.
 - EACH BRANCH CIRCUIT SHALL INCORPORATE A DEDICATED NEUTRAL CONDUCTOR WHERE NEUTRAL IS REQUIRED. THE NEUTRAL CONDUCTOR SHALL NOT BE SHARED BETWEEN CIRCUITS UNLESS SPECIFICALLY INDICATED FOR CIRCUITS SERVING SYSTEMS FURNITURE.
 - EACH CONDUIT CONTAINING BRANCH CIRCUITS SHALL CONTAIN A GREEN EQUIPMENT GROUND CONDUCTOR.
 - CONDUIT SHALL BE RUN WITH SMOOTH, EASY BENDS. EXPOSED CONDUIT SHALL BE RUN PARALLEL, OR PERPENDICULAR TO WALLS, CEILING, BEAMS, AND COLUMNS. CONCEALED CONDUIT MAY BE RUN AT ANGLES OTHER THAN PARALLEL OR PERPENDICULAR TO BUILDING LINES BUT SHALL BE GROUPED IN A NEAT AND NORMAL LIKE MANNER. COSHIMILAR ANGLES AND CROSSCROSS ARRANGEMENT WILL NOT BE ACCEPTABLE.
 - EXPOSED PARALLEL OR BANDED RACEWAYS SHALL BE RUN TOGETHER TO PROVIDE A NEAT APPEARANCE. BENDS IN PARALLEL OR BANDED RUNS SHALL BE MADE FROM THE SAME CENTER LINE SO THAT THE BENDS ARE PARALLEL. STANDARD MANUFACTURER'S BENDS ARE ALLOWED FOR GROUPS OF 90 DEGREE BENDS IF THE CONDUITS ARE CLOSE TO THE SAME SIZES. THIS SHALL REQUIRE THAT THERE BE A CHANGE IN THE PLANE OF THE RUN, SUCH AS FROM WALL TO CEILING AND THE RACEWAYS OF THE SAME SIZE. IN OTHER CASES, PARALLEL RACEWAYS SHALL BE FIELD-BENT.
 - ALL RECEPTACLES LOCATED WITHIN 6 FEET OF A SINK OR WATER SOURCE SHALL INCLUDE INTEGRAL GROUND FAULT CIRCUIT INTERRUPTER (GFI).
 - CONDUITS SHALL NOT BE EMBEDDED IN FLOOR SLABS.
 - THE ELECTRICAL INSTALLATION SHALL BE IN STRICT CONFORMANCE WITH THE 2020 NATIONAL ELECTRICAL CODE (NEC) AND THE NEW JERSEY UNIFORM CONSTRUCTION CODE.

- ### KEYNOTES
- REMOVE FOR RELOCATION COMMUNICATION HANDHOLE.
 - EXTEND EXISTING COMMUNICATIONS CONDUIT.
 - INSTALL EXISTING COMMUNICATIONS HANDHOLE.
 - COORDINATE GATE OPERATOR LOCATION AND ELECTRIC REQUIREMENTS WITH THE OWNER. PROVIDE ALL REQUIRED ELECTRIC, INCLUDING GROUND ROD AND ASSOCIATED WIRING AND RACKWAYS. PROVIDE WIRING AND RACKWAYS TO GATE SAFETY DEVICES. INTERCONNECT GATE OPERATOR TO CARD READER. STUB OUT (1) 1" CONDUIT FOR PRESSURE SENSOR WIRING.
 - INSTALL OWNER FURNISHED ENVIRONMENTAL NETWORK CABINET ON CONCRETE PAD. COORDINATE LOCATION WITH THE OWNER BEFORE BEGINNING PROVIDE (1) QUAD RECEPTACLE IN CABINET FOR NETWORK EQUIPMENT.
 - INSTALL CARD ACCESS POWER SUPPLY AND CONTROL PANEL. PROVIDE STRUT STAND AS REQUIRED.
 - SECURITY CAMERA ON POLE. COORDINATE LOCATION WITH OWNER. CAMERA POLE AND BASE PROVIDED BY OWNER. PROVIDE RACEWAY AND DATA CABLE BACK TO NETWORK RACK.
 - PROVIDE (1) 1" CONDUIT FROM GATE OPERATOR TO SITE CARD ACCESS PANEL. ROUTE SECURITY CABLE WITH RACEWAY.
 - PROVIDE (1) 1" CONDUIT FROM GATE OPERATOR TO CARD ACCESS PANEL IN BUILDING. ROUTE SECURITY CABLE WITH RACEWAY.
 - PROVIDE (1) 1" CONDUIT FROM SITE CARD ACCESS PANEL TO SITE NETWORK RACK. ROUTE DATA CABLE BETWEEN PANEL AND CABINET.
 - VERIFY EXACT LOCATION AND REQUIREMENTS WITH OWNER'S SECURITY VENDOR.



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Project

NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

Drawing

ELECTRICAL LEGEND, AND GENERAL NOTES

Scale	Job	Sheet
As indicated	23.089	E1.0
Drawn	Date	
KA	10/08/2024	

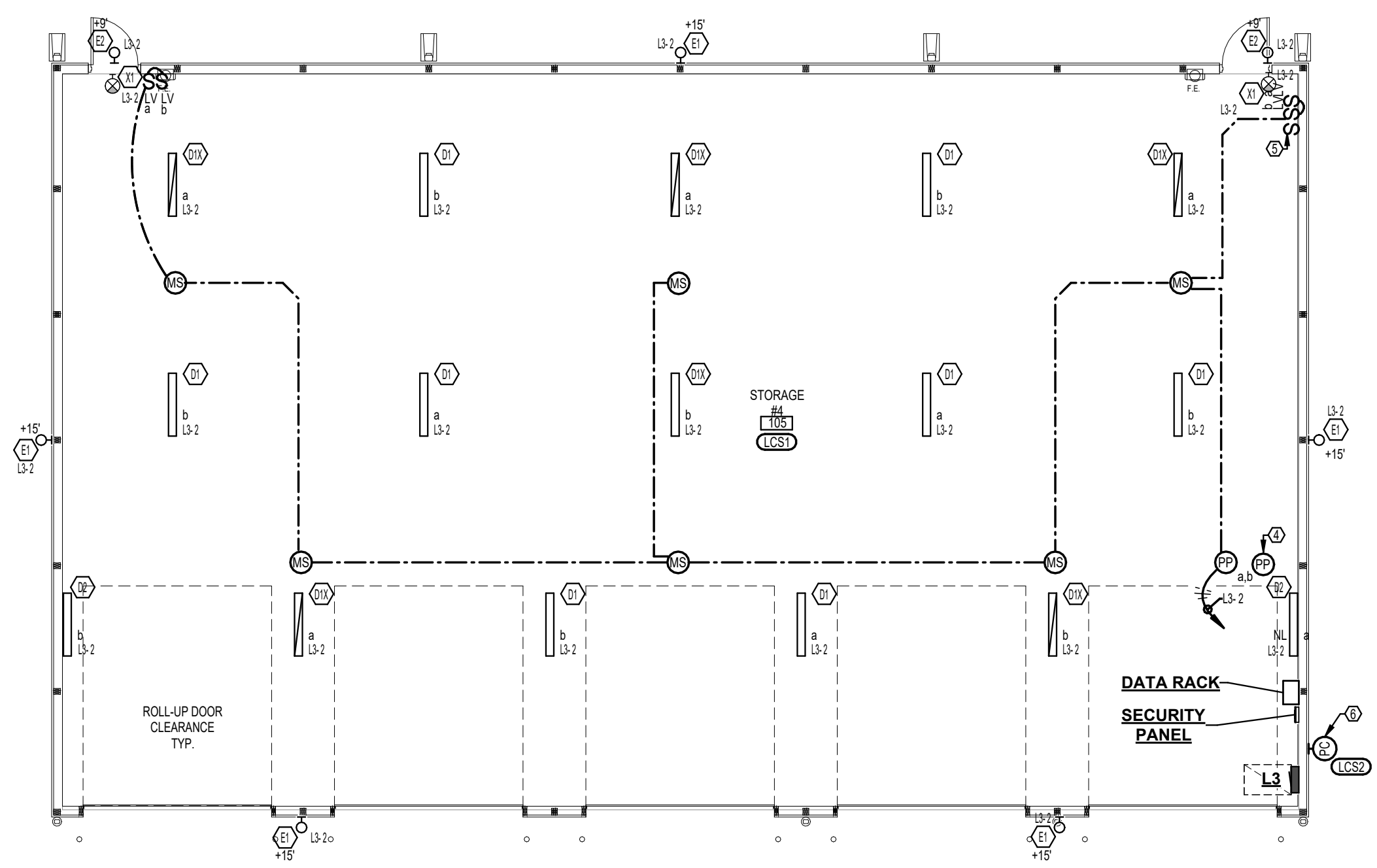
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GENERAL NOTES:

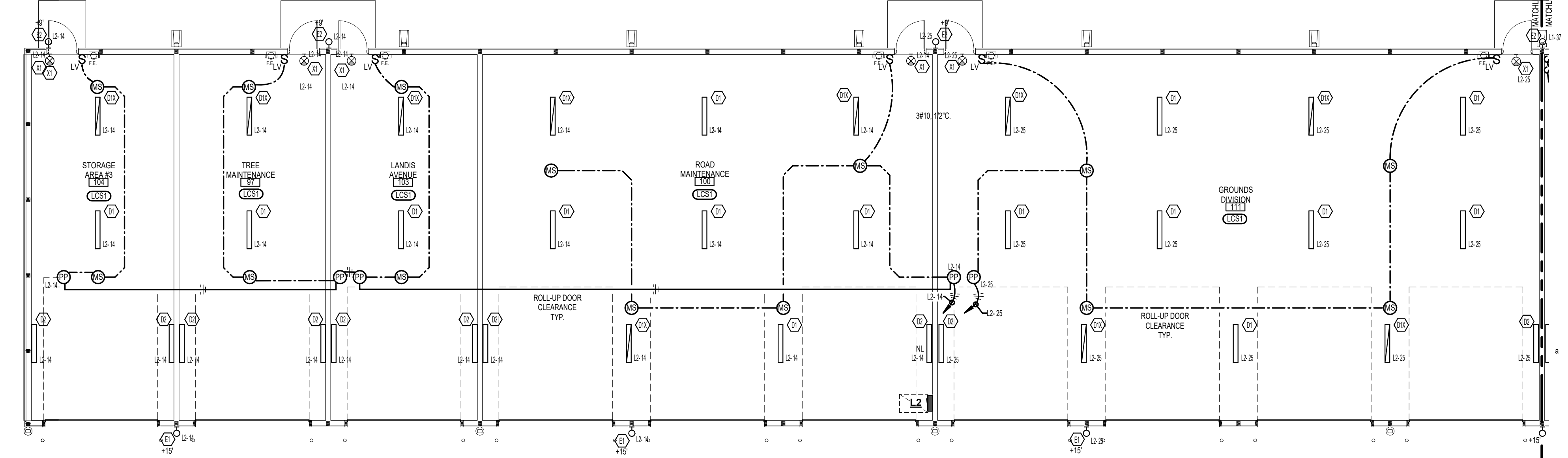
- A. REFER TO SHEET E01 FOR GENERAL NOTES AND ADDITIONAL INFORMATION.
- B. POWER PACKS SHALL BE LOCATED IN THE CEILING AT THE ACCESS PANEL.
- C. ALL "D" LIGHT FIXTURES SHALL BE MOUNTED TO BOTTOM OF TRUSS UNLESS STATED OTHERWISE. PROVIDE SUPPORT BRACKET SPANNING BETWEEN TRUSSES ABOVE CEILING TO ATTACH FIXTURE.
- D. ALL "D" LIGHT FIXTURES SHALL BE WALL MOUNTED AT 14" A.F.F. UNLESS STATED OTHERWISE.
- E. ALL EMERGENCY FIXTURES SHALL HAVE AN UNSWITCHED HOT WIRE FOR BATTERY SENSING CHANGING LEADS.
- F. ALL "D" LIGHT FIXTURES CONNECTED TO CIRCUIT L1-39 AND L2-14 SHALL USE 3W/12C.
- G. ALL CEILING MOUNTED MOTION SENSORS SHALL BE HIGH CEILING TYPE AND RATED FOR COLD WEATHER, UNLESS STATED OTHERWISE.

KEYNOTES

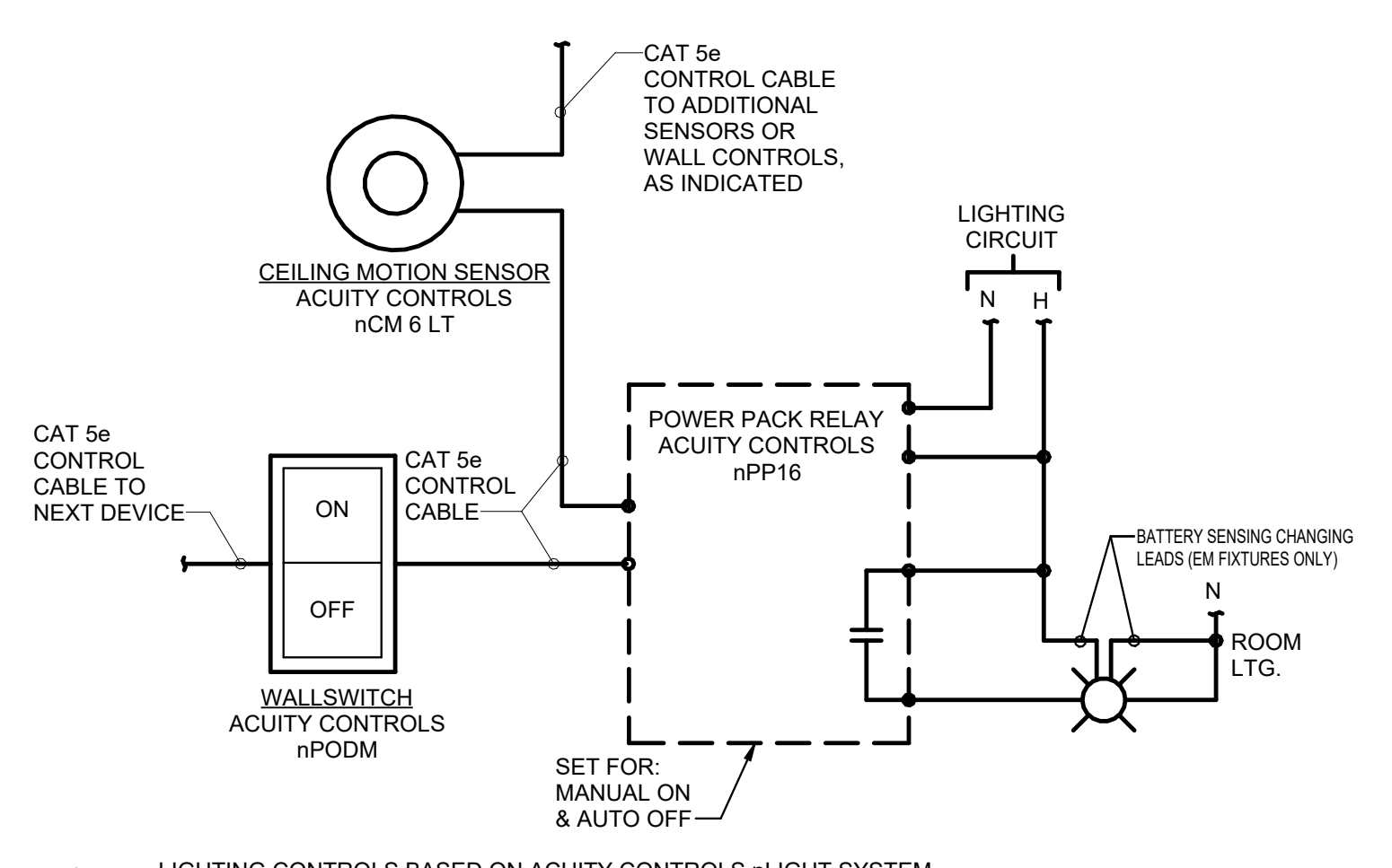
- 1. LOCATE PHOTOCELL NEAR OVERHANG. ADJUST SO NOT AFFECTED BY ARTIFICIAL LIGHT AND VEHICLE HEADLIGHTS. PHOTOCELL SHALL CONTROL ALL BUILDING A MOUNTED EXTERIOR LIGHTS.
- 2. POWER PACK FOR ALL BUILDING A EXTERIOR LIGHTS.
- 3. LIGHT SWITCH FOR ALL BUILDING A EXTERIOR LIGHTS.
- 4. POWER PACK FOR ALL BUILDING B EXTERIOR LIGHTS.
- 5. LIGHT SWITCH FOR ALL BUILDING B EXTERIOR LIGHTS.
- 6. LOCATE PHOTOCELL NEAR OVERHANG. ADJUST SO NOT AFFECTED BY ARTIFICIAL LIGHT AND VEHICLE HEADLIGHTS. PHOTOCELL SHALL CONTROL ALL BUILDING B MOUNTED EXTERIOR LIGHTS.
- 7. POWER PACK FOR SITE LIGHTING. CONNECT TO BUILDING PHOTO CELL.



1 LIGHTING PLAN - BUILDING B
SCALE: 1/8" = 1'-0"

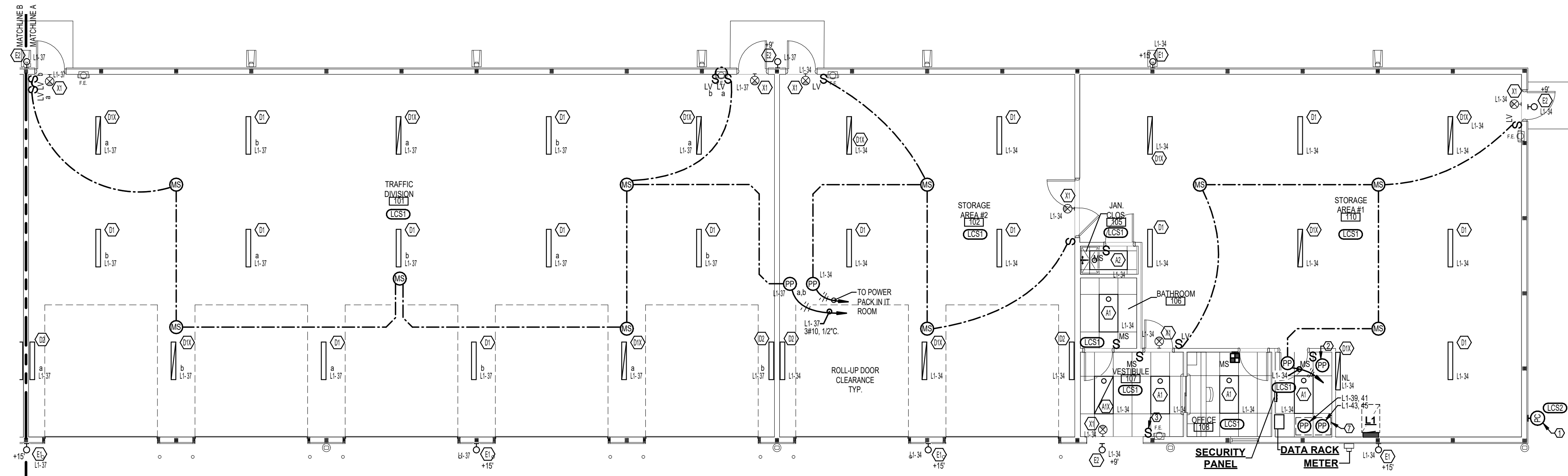


2 LIGHTING PLAN - BUILDING A AREA B
SCALE: 1/8" = 1'-0"



LIGHTING CONTROLS BASED ON ACUITY CONTROLS nLIGHT SYSTEM. PROVIDE nLIGHT OR APPROVED SIMILAR.

4 LOW VOLTAGE SWITCH & MOTION SENSOR
SCALE: NONE



3 LIGHTING PLAN - BUILDING A AREA A
SCALE: 1/8" = 1'-0"

LIGHTING CONTROL SCHEME SCHEDULE

SCHEME	DESCRIPTION
LC01	LUMINAIRE CONTROL SHALL BE BY LOCAL DEVICES. LUMINAIRES SHALL BE MANUAL ON/OFF VIA SWITCHES AND AUTO OFF VIA OCCUPANCY SENSORS AFTER THE SPACE HAS BEEN VACANT FOR A PERIOD OF TIME. EMERGENCY LIGHTS SHALL TURN ON WHEN NORMAL POWER TO ROOM LIGHTING FIXTURES FAIL.
LC02	LUMINAIRE CONTROL SHALL BE BY PHOTOCELL. IT SHALL TURN OFF ALL EXTERIOR LIGHTING WHEN SUFFICIENT DAYLIGHT IS AVAILABLE.

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	SERIES	LAMP				BALLAST / DRIVER	VOLTAGE	MOUNTING
				TYPE	NO.	LUMENS	WATTS			
A1	2x4' RECESSED DIMMABLE LED EDGE LIT FLAT PANEL FIXTURE, WITH WHITE ALUMINUM BEZEL ON STEEL BACK PLATE WITH GRID LOCKING CLIPS AND WHITE FROSTED SCRATCH AND IMPACT RESISTANT ACRYLIC LENS.	LITHONIA	EPANL-2x4-4800LM-80CRI-35K-MIN1-MVOLT	LED 3500K	--	5119	45W	0-10V, DIMMING TO 1%	120/277V	RECESSED
A1X	SAME AS TYPE A1 EXCEPT WITH EMERGENCY BATTERY PACK.	LITHONIA	EPANL-2x4-4800LM-80CRI-35K-MIN1-MVOLT-E10WCP	LED 3500K	--	5119	45W	0-10V, DIMMING TO 1%	120/277V	RECESSED
A2	2x4' RECESSED DIMMABLE LED EDGE LIT FLAT PANEL FIXTURE, WITH WHITE ALUMINUM BEZEL ON STEEL BACK PLATE WITH GRID LOCKING CLIPS AND WHITE FROSTED SCRATCH AND IMPACT RESISTANT ACRYLIC LENS.	LITHONIA	EPANL-2x4-4000LM-80CRI-35K-MIN1-MVOLT	LED 3500K	--	4240	38W	0-10V, DIMMING TO 1%	120/277V	RECESSED
D1	4' LINEAR LED, ACRYLIC LENS, STRIP LIGHTING FIXTURE WITH WHITE STEEL HOUSING, COLD WEATHER DRIVER AND WIDE DISTRIBUTION REFLECTOR.	LITHONIA	CLX-L48-9000LM-SEF-WDL-MVOLT-G21-LUGR-35K-80CRI-WH	LED 3500K	--	9000	70W	0-10V, DIMMING TO 1%	120/277V	SURFACE
D1X	SAME AS TYPE D EXCEPT WITH EMERGENCY BATTERY PACK.	LITHONIA	CLX-L48-9000LM-SEF-WDL-MVOLT-G21-LUGR-35K-80CR-WH-PS1050	LED 3500K	--	9000	70W	0-10V, DIMMING TO 1%	120/277V	SURFACE
D2	4' LINEAR LED, ACRYLIC LENS, STRIP LIGHTING FIXTURE WITH WHITE STEEL HOUSING, COLD WEATHER DRIVER AND FLAT DISTRIBUTION REFLECTOR.	LITHONIA	CLX-L48-9000LM-SEF-FDL-MVOLT-G21-LUGR-35K-80CRI-WH	LED 3500K	--	9000	70W	0-10V, DIMMING TO 1%	120/277V	WALL
E1	9" x 18" ARCHITECTURAL WALL SCOCNE, ALUMINUM HOUSING, DARK BRONZE POWDER COAT FINISH, ACRYLIC LENS, WITH EMERGENCY BATTERY PACK AND MOTION SENSOR.	LITHONIA	WDGE3-LED-P2-40K-80CRI-R4-MVOLT-SRM-PIRH-DDBXD	LED 4000K	--	8779	15W	0-10V, DIMMING TO 1%	120/277V	SURFACE
E2	9" x 11.5" ARCHITECTURAL WALL SCOCNE, ALUMINUM HOUSING, DARK BRONZE POWDER COAT FINISH, ACRYLIC LENS, WITH EMERGENCY BATTERY PACK AND MOTION SENSOR.	LITHONIA	WDGE2-LED-P2-40K-80CRI-T4M-MVOLT-SRM-E20WC-DMG-PIR-DDBXD	LED 4000K	--	2000	4W	0-10V, DIMMING TO 1%	120/277V	SURFACE
S1	SITE LIGHTING POLE WITH NUMBER OF LIGHT HEAD AS SHOWN ON CIVIL DRAWINGS. COORDINATE REQUIREMENTS WITH CIVIL DRAWINGS.	LITHONIA	DSX0-LED-P6-40K-TFTM-MVOLT-SPIR-PIH-DBLXD	LED 4000K	--	17511	238	--	208V	POLE
X1	SINGLE SIDED EXIT LIGHT WITH RED STENCIL LETTERS ON WHITE ALUMINUM HOUSING WITH EMERGENCY BATTERY PACK.	LITHONIA	LQM-S-W-3-R-120/277-ELN	--	--	--	1.5	--	120/277V	UNIVERSAL



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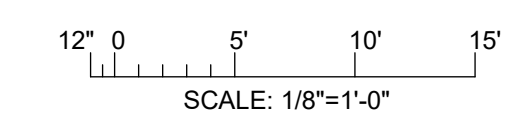
Manders Merighi Portadin Farrell Architects, LLC
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Lawrence J. Merighi AIA AI-07475
Ronald P. Portadin AIA AI-13038
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Project

NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

Drawing
LIGHTING PLANS, AND LIGHTING SCHEDULES

Scale	Job	Sheet
As indicated	23.089	E2.0
Drawn	Date	
KA	10/08/2024	



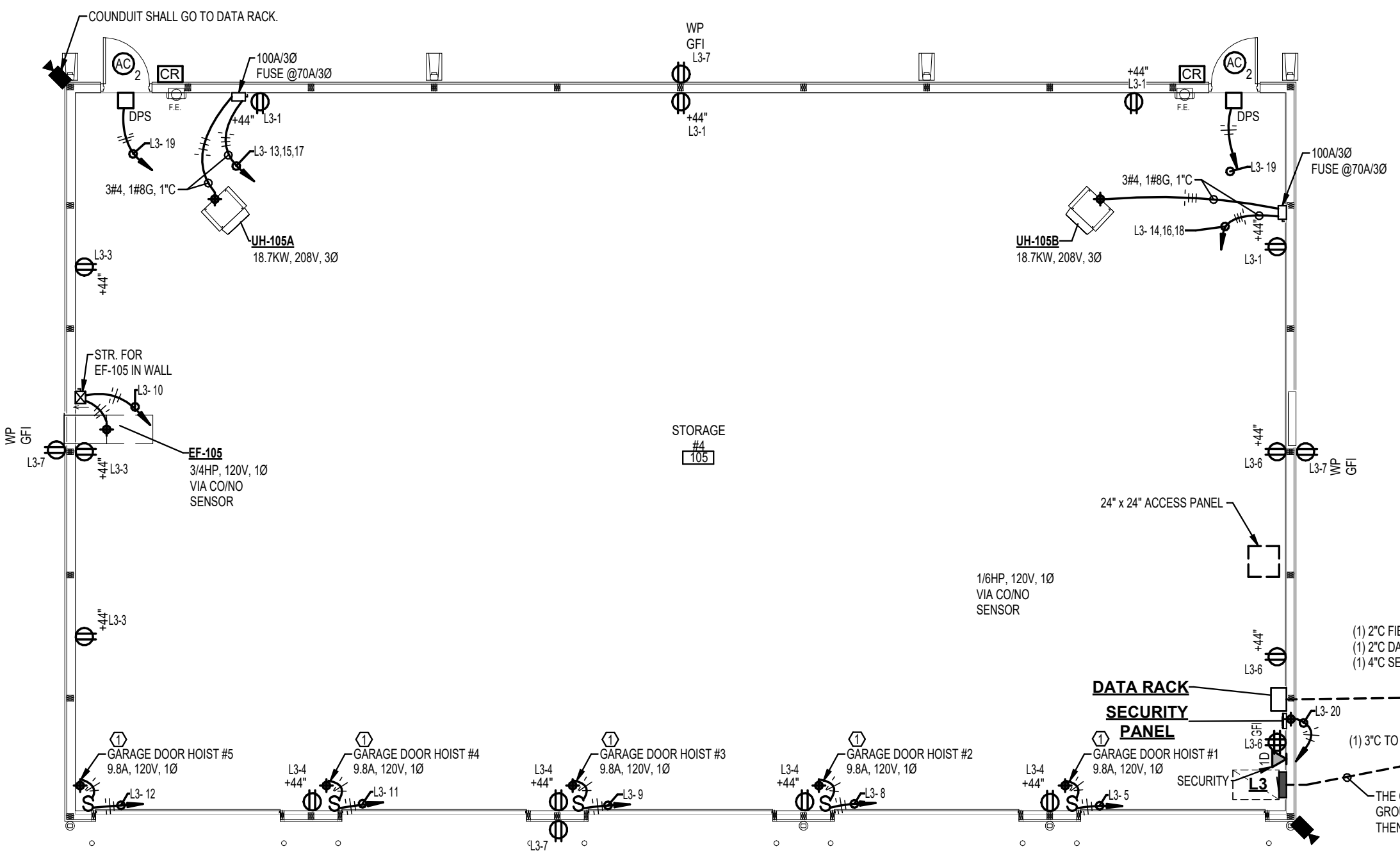
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GENERAL NOTES:

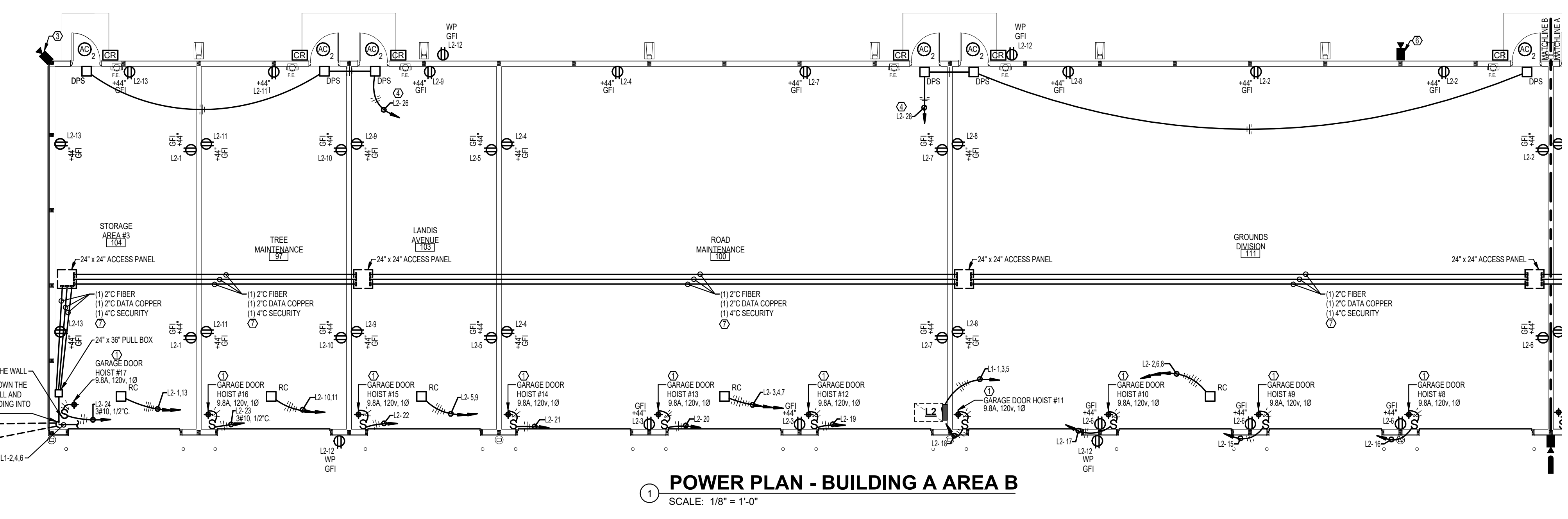
- REFER TO SHEET E01 FOR GENERAL NOTES AND ADDITIONAL INFORMATION.
- PROVIDE ALL REQUIRED WIRING, RACEWAYS, AND POWER FOR SECURITY CAMERAS, AND ACCESS CONTROL SYSTEMS, INCLUDING ALL TERMINATIONS, COORDINATE REQUIREMENTS WITH OWNERS SECURITY VENDOR AND DOOR HARDWARE PROVIDER.
- COORDINATE LOCATION OF COMMUNICATION CONDUITS WITH BUILDING WITH DUCTWORK.
- DATA OUTLETS MOUNTED NEXT TO RECEPTABLES SHALL BE MOUNTED AT THE SAME HEIGHT AS THE RECEPTABLE.

KEYNOTES

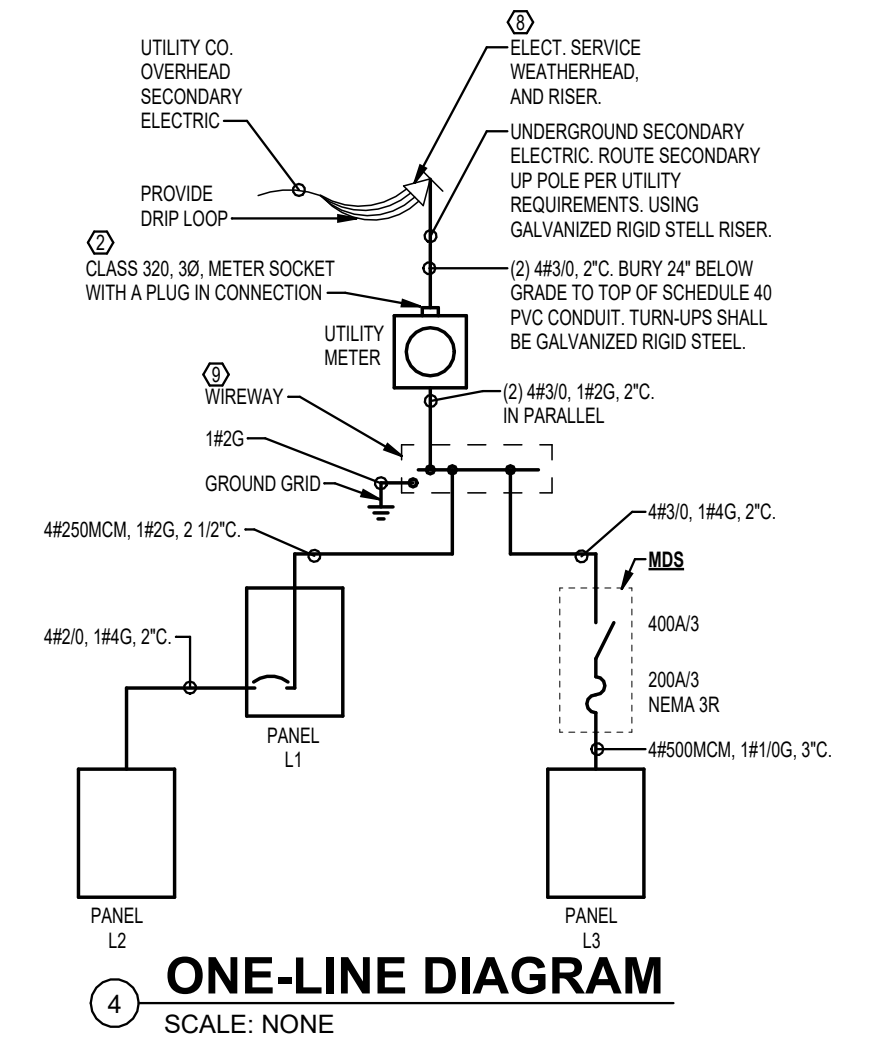
- CEILING MOUNTED GARAGE DOOR HOST, VERIFY EXACT LOCATION.
- CLASS 320 METER SOCKET WITH THE FOLLOWING SPECIFICATIONS: UL APPROVED, 320 AMPERE CONTINUOUS RATING, 40 AMPERE MAXIMUM LOAD CLAMPING AND BYPASS LEVER, 5TH JAN IN 9 O'CLOCK POSITION, PROPER LUG CONNECTORS FOR THE SERVICE CONDUCTORS, BARREL LOCK PROVISION, HAS TO ACCEPT PADLOCK AND METER SEAL, SOCKET STYLE NOT BOLT ON METER BASE AND SOCKET SHALL MEET SPECIFICATIONS OF UTILITY COMPANY.
- CONDUIT SHALL GO TO NEAREST ACCESS POINT, THEN THROUGH UNDERGROUND CONDUIT TO BUILDING B DATA RACK.
- ALL CONDUITS SHALL GO TO NEAREST ACCESS POINT AND DIVERGE FROM THERE. ACCESS CONTROL SHALL GO TO BUILDING B SECURITY PANEL.
- ALL CONDUITS SHALL GO TO NEAREST ACCESS POINT AND DIVERGE FROM THERE. ACCESS CONTROL SHALL GO TO BUILDING A SECURITY PANEL.
- CONDUIT SHALL GO TO NEAREST ACCESS POINT, THEN TO BUILDING A DATA RACK.
- MAIN CONDUIT PATH FOR ALL CIRCUITS AND RACEWAYS TO FOLLOW.
- CONTRACTOR SHALL INSTALL SECONDARY RISER ON STANDOFFS AND PROVIDE CONDUITS TO SECONDARY BUSINGS OF TRANSFORMER BANK. THE WEATHER HEAD SHALL BE INSTALLED 6" BELOW THE NEUTRAL. COORDINATE ALL REQUIREMENTS WITH UTILITY COMPANY.
- PROVIDE NEUTRAL BAR IN WIREWAY.
- CONTROL VIA ROOM LIGHT SWITCH.



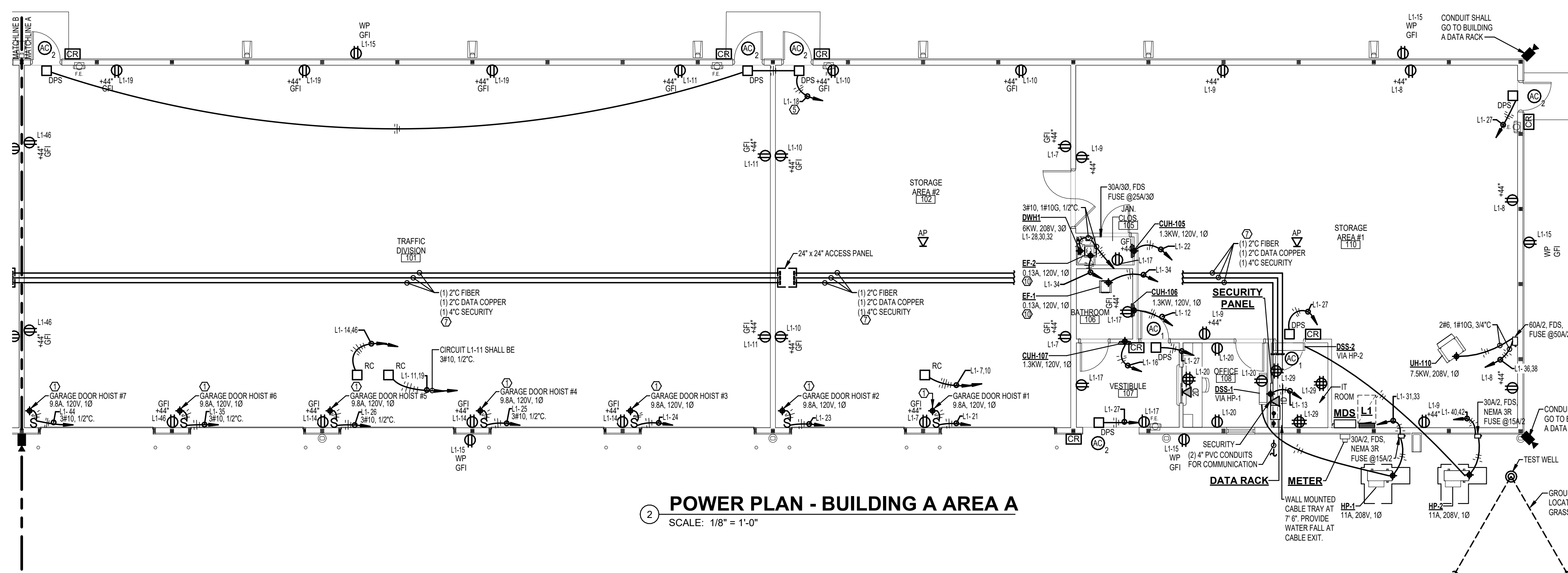
POWER PLAN - BUILDING B
SCALE: 1/8" = 1'-0"



POWER PLAN - BUILDING A AREA B
SCALE: 1/8" = 1'-0"



ONE-LINE DIAGRAM
SCALE: NONE



POWER PLAN - BUILDING A AREA A
SCALE: 1/8" = 1'-0"

Branch Panel: L1

Location: STORAGE AREA #1 110
Supply From: 120/208 Wye
Phases: 3
Wires: 4
A.I.C. Rating: 22KAIC
Mains Type: Main Circuit Breakers
Mains Rating: 250 A
Mounting: Surface
Enclosure:

Notes:

CKT	Circuit Description	Trip	Poles	A	B	C	Trip	Circuit Description	CKT	
1	L2	125 A	3	7301	--	--	--	L2 Breaker Space	2	
3	--	--	--	7304	--	7304	--	--	4	
5	--	--	--	--	--	--	--	--	6	
7	Receptacle STORAGE AREA #2 102	20 A	1	600 VA 600 VA	--	--	1	20 A Receptacle STORAGE AREA #1 110	8	
9	Receptacle STORAGE AREA #1 110	20 A	1	800 VA 800 VA	--	--	1	20 A Receptacle STORAGE AREA #2 102	10	
11	Receptacle TRAFFIC DIVISION 101	20 A	1	600 VA 600 VA	1260	1260	1	20 A CUH-106	12	
13	Security and Comm.	20 A	1	400 VA 600 VA	--	--	1	20 A Receptacle TRAFFIC DIVISION 101	14	
15	Receptacle STORAGE AREA #1 110	20 A	1	1000	1260	--	1	20 A CUH-107	16	
17	Receptacle VESTIBULE 107	20 A	1	800 VA 600 VA	--	--	1	20 A Door Controls	18	
19	Receptacle TRAFFIC DIVISION 101	20 A	1	600 VA 1000	--	--	1	20 A Receptacle OFFICE	20	
21	Garage Door #1	20 A	1	1176	1260	--	1	20 A CUH-105	22	
23	Garage Door #2	20 A	1	1176	1176	--	1	20 A Garage Door #3	24	
25	Garage Door #4	20 A	1	1176	1176	--	1	20 A Garage Door #5	26	
27	Door Controls	20 A	1	800 VA 2000	--	--	3	25 A DWH-1	28	
29	Receptacle IT ROOM	20 A	1	1200	2000	--	--	2	20 A HP-2 and DSS-2	30
31	HP-1 and DSS-1	20 A	2	1982	2000	--	--	--	32	
33	--	--	--	1982	972 VA	--	--	1	20 A Lighting BUILDING A AREA A EAST...	34
35	Garage Door #6	20 A	1	1176	3750	--	2	50 A UH-110	36	
37	Lighting BUILDING A AREA A WEST...	20 A	1	707 VA 3750	--	--	--	1	20 A Spare	38
39	Lighting OFFICE BUILDING LOT	20 A	2	952 VA 1982	--	--	--	2	20 A HP-2 and DSS-2	40
41	--	--	--	952 VA 1982	--	--	--	--	42	
43	Lighting POLE BARN LOT	20 A	2	1190	1176	--	1	20 A Garage Door #7	44	
45	--	--	--	1190	600 VA	--	1	20 A Receptacle TRAFFIC DIVISION 101	46	
47	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	--	1	20 A Spare	48	
49	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	--	1	20 A Spare	50	
51	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	--	1	20 A Spare	52	
53	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	--	1	20 A Spare	54	
55	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	--	1	20 A Spare	56	
57	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	--	1	20 A Spare	58	
59	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	--	1	20 A Spare	60	
Legend:										
Panel Totals										
		Total Conn. Load: 72310 VA								
		Total Est. Demand: 54946 VA								
		Total Conn. Current: 201 A								
		Total Est. Demand: 180 A								

Branch Panel: L2

Location: ROAD MAINTENANCE 100
Supply From: 120/208 Wye
Phases: 3
Wires: 4
A.I.C. Rating: 10KAIC
Mains Type: Main Lugs Only
Mains Rating: 125 A
Mounting: Surface
Enclosure:

Notes:

CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT
1	Receptacle STORAGE AREA #3 104	20 A	1	400 VA 600 VA	--	--	1	20 A Receptacle GROUNDS DIVISION 111	2	
3	Receptacle ROAD MAINTENANCE 100	20 A	1	400 VA 600 VA	--	--	1	20 A Receptacle ROAD MAINTENANCE 100	4	
5	Receptacle LANDIS AVENUE 103	20 A	1	400 VA 800 VA	--	--	1	20 A Receptacle GROUNDS DIVISION 111	6	
7	Receptacle ROAD MAINTENANCE 100	20 A	1	600 VA 600 VA	--	--	1	20 A Receptacle GROUNDS DIVISION 111	8	
9	Receptacle LANDIS AVENUE 103	20 A	1	600 VA 400 VA	--	--	1	20 A Receptacle TREE MAINTENANCE 97	10	
11	Receptacle TREE MAINTENANCE 97	20 A	1	600 VA 800 VA	--	--	1	20 A Receptacle ROAD MAINTENANCE 100	12	
13	Receptacle STORAGE AREA #3 104	20 A	1	600 VA 974 VA	--	--	1	20 A Lighting BUILDING A AREA B	14	
15	Garage Door #9	20 A	1	1176	1176	--	1	20 A Garage Door #8	16	
17	Garage Door #10	20 A	1	1176	1176	--	1	20 A Garage Door #11	18	
19	Garage Door #12	20 A	1	1176	1176	--	1	20 A Garage Door #13	20	
21	Garage Door #14	20 A	1	1176	1176	--	1	20 A Garage Door #15	22	
23	Garage Door #16	20 A	1	1176	1176	--	1	20 A Garage Door #17	24	
25	Lighting BUILDING A AREA B	20 A	1	575 VA 600 VA	0 VA 600 VA	0 VA 0 VA	1	20 A Door Controls West Side	26	
27	Spare	20 A	1	0 VA 600 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Door Controls East Side	28	
29	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	30	
31	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	32	
33	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	34	
35	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	36	
37	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	38	
39	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	40	
41	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	42	
Legend:										
Panel Totals										
		Total Conn. Load: 21909 VA								
		Total Est. Demand: 20733 VA								
		Total Conn. Current: 61 A								
		Total Est. Demand: 58 A								

Branch Panel: L3

Location: STORAGE #4 105
Supply From: 120/208 Wye
Phases: 3
Wires: 4
A.I.C. Rating: 10KAIC
Mains Type: Main Circuit Breakers
Mains Rating: 200 A
Mounting: Surface
Enclosure:

Notes:

CKT	Circuit Description	Trip	Poles	A	B	C	Poles	Trip	Circuit Description	CKT
1	Receptacle NORTH WALL	20 A	1	800 VA 707 VA	--	--	1	20 A Lighting BUILDING B	2	
3	Receptacle WEST WALL	20 A	1	600 VA 800 VA	--	--	1	20 A Receptacle SOUTH WALL	4	
5	Garage Door #1	20 A	1	1176	800 VA	1176	1	20 A Receptacle EAST WALL	6	
7	Receptacle OUTSIDE WALLS	20 A	1	800 VA 1176	--	--	1	20 A Garage Door #2	8	
9	Garage Door #3	20 A	1	1176	1656	--	1	20 A EF-105	10	
11	Garage Door #4	20 A	1	1176	1176	--	1	20 A Garage Door #5	12	
13	UH-105A	70 A	3	6725	6725	6725	3	70 A UH-105B	14	
15	--	--	--	6725	6725	--	--	--	16	
17	--	--	--	6725	6725	--	--	--	18	
19	Door Controls	20 A	1	400 VA 400 VA	--	--	1	20 A Data and Security	20	
21	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	22	
23	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	24	
25	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	26	
27	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	28	
29	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	30	
31	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	32	
33	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	34	
35	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	36	
37	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	38	
39	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	40	
41	Spare	20 A	1	0 VA 0 VA	0 VA 0 VA	0 VA 0 VA	1	20 A Spare	42	
Legend:										
Panel Totals										
		Total Conn. Load: 53191 VA								
		Total Est. Demand: 52272 VA								
		Total Conn. Current: 148 A								
		Total Est. Demand: 145 A								



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Project
NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

Drawing
POWER PLANS AND SCHEDULES

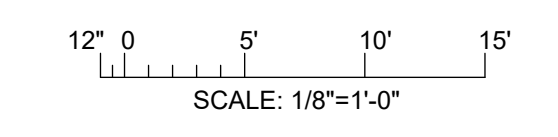
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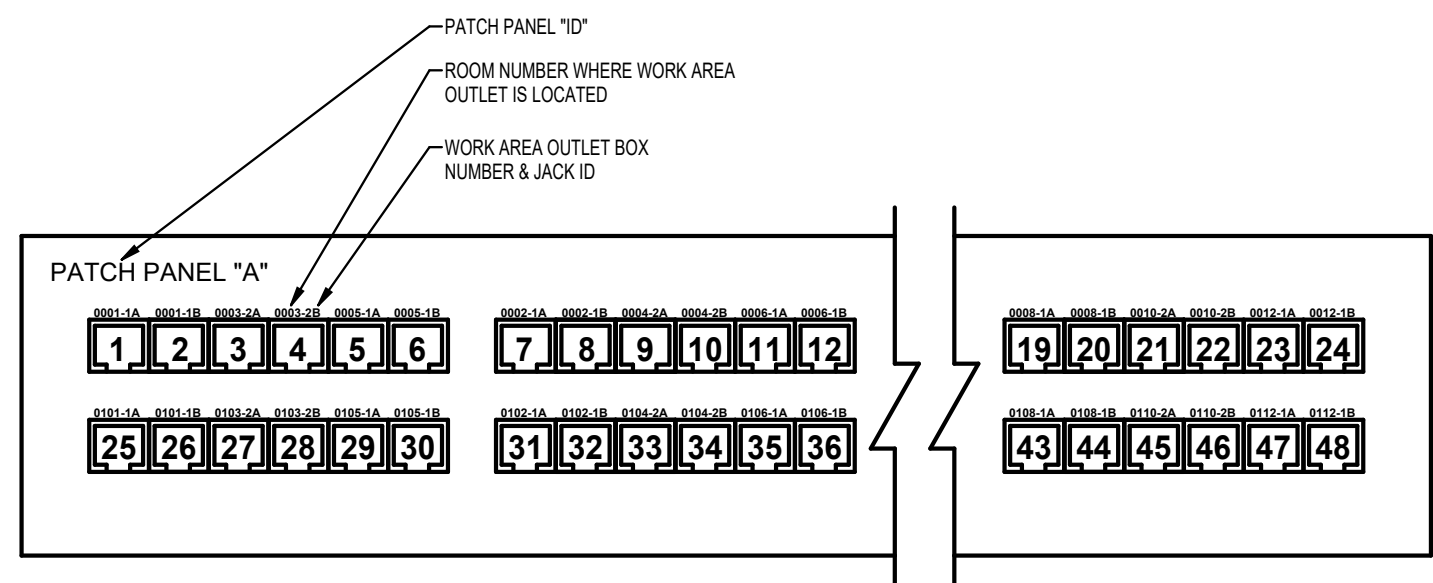
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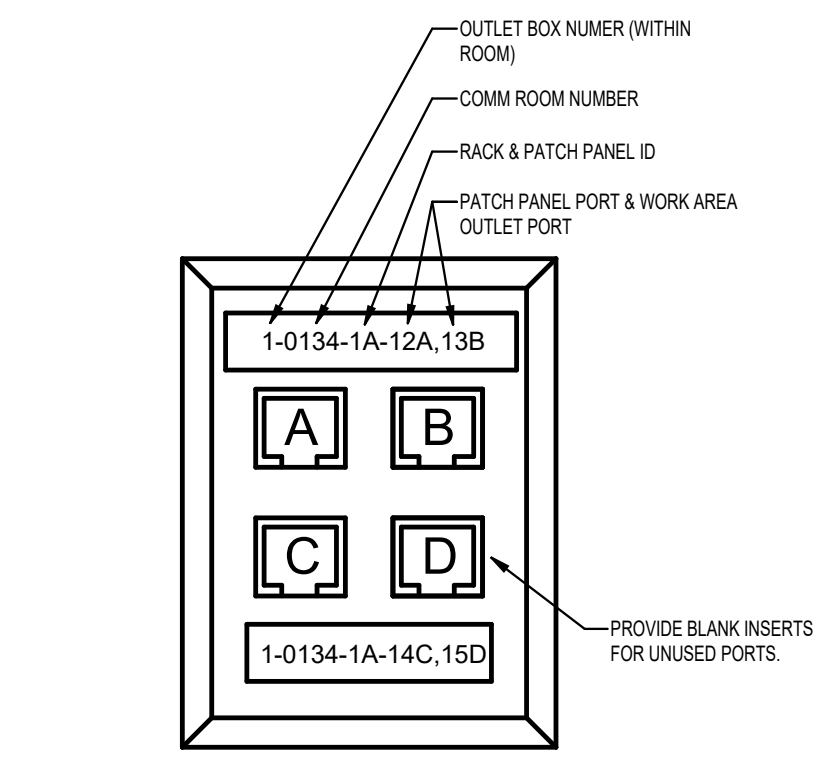
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Date
10/08/2024



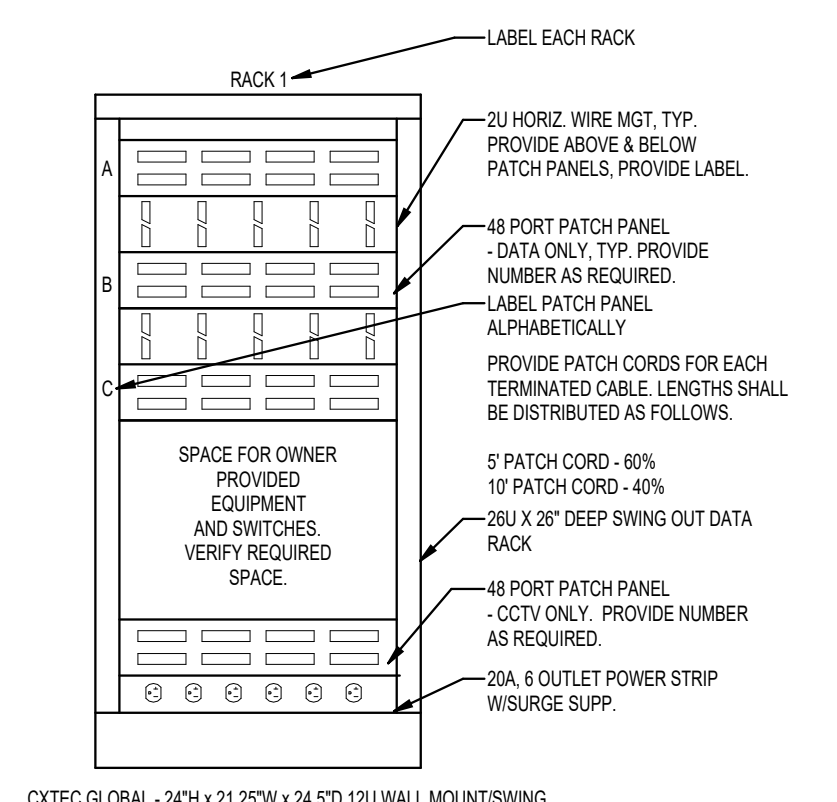


1 TYPICAL PATCH PANEL LABELING
SCALE: NONE

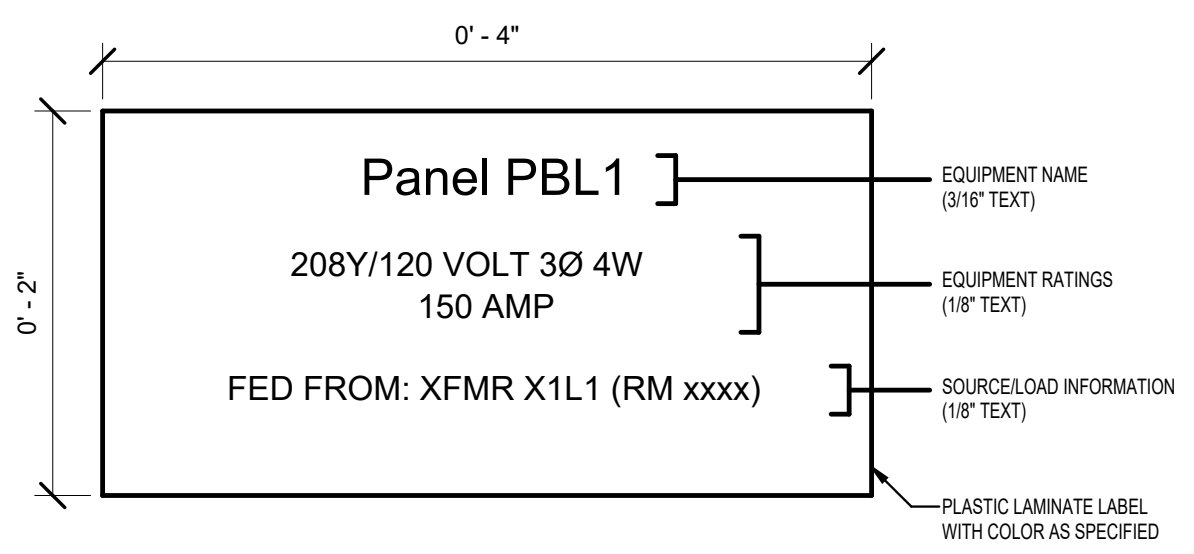


2 TYPICAL WORK AREA OUTLET LABELING
SCALE: NONE

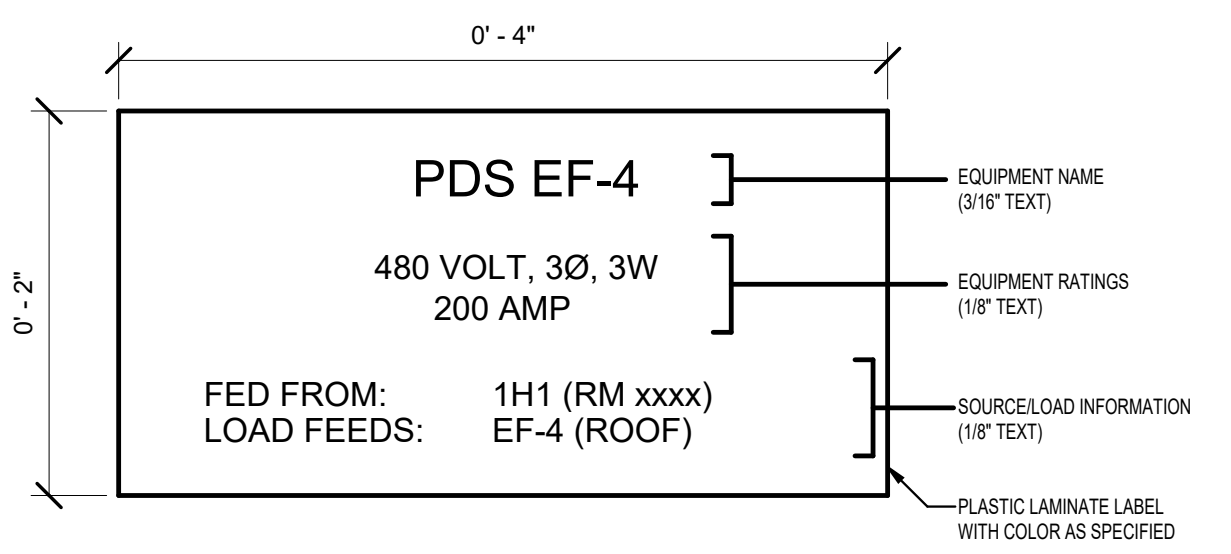
MOTOR CONTROL SCHEDULE													
MOTOR CONTROLLER LEGEND													
TYPE	DESCRIPTION												
VFD	VARIABLE FREQUENCY DRIVE FURNISHED BY DIVISION 23 AND INSTALLED BY DIVISION 26.												
MMC	COMBINATION MAGNETIC MOTOR CONTROLLER AND FUSIBLE SWITCH TO SUIT MOTOR.												
MAN	MANUAL MOTOR CONTROLLER.												
MOTOR TAG	MOTOR USE	MOTOR LOCATION	MOTOR RATING			MOTOR CONTROLLER				AUXILIARY CONTROL DEVICES		CONTROL WIRING DIAGRAM	
EF-105	EXHAUST FAN	BUILDING B	HP (KW)	SYSTEM VOLTAGE	PHASE	TYPE	LOCATION	STR SIZE	SW SIZE	FUSE	DEVICE	LOCATION	WIRING DIAGRAM
			3/4	120 V	1	MMC	BUILDING B WORKRT WALL	0	30A	20	H.O.A. SWITCH AND PILOT LIGHT	STR. COVER	#1



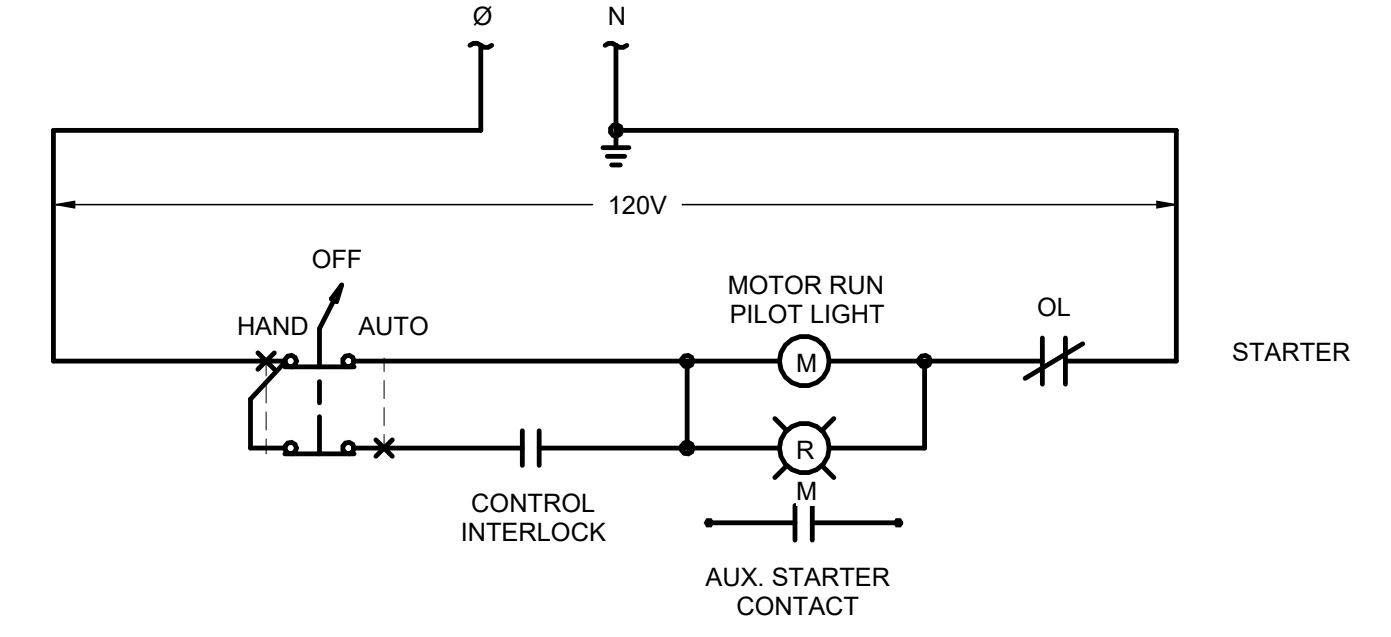
5 TYPICAL TELECOM RACK ELEVATION
SCALE: NONE



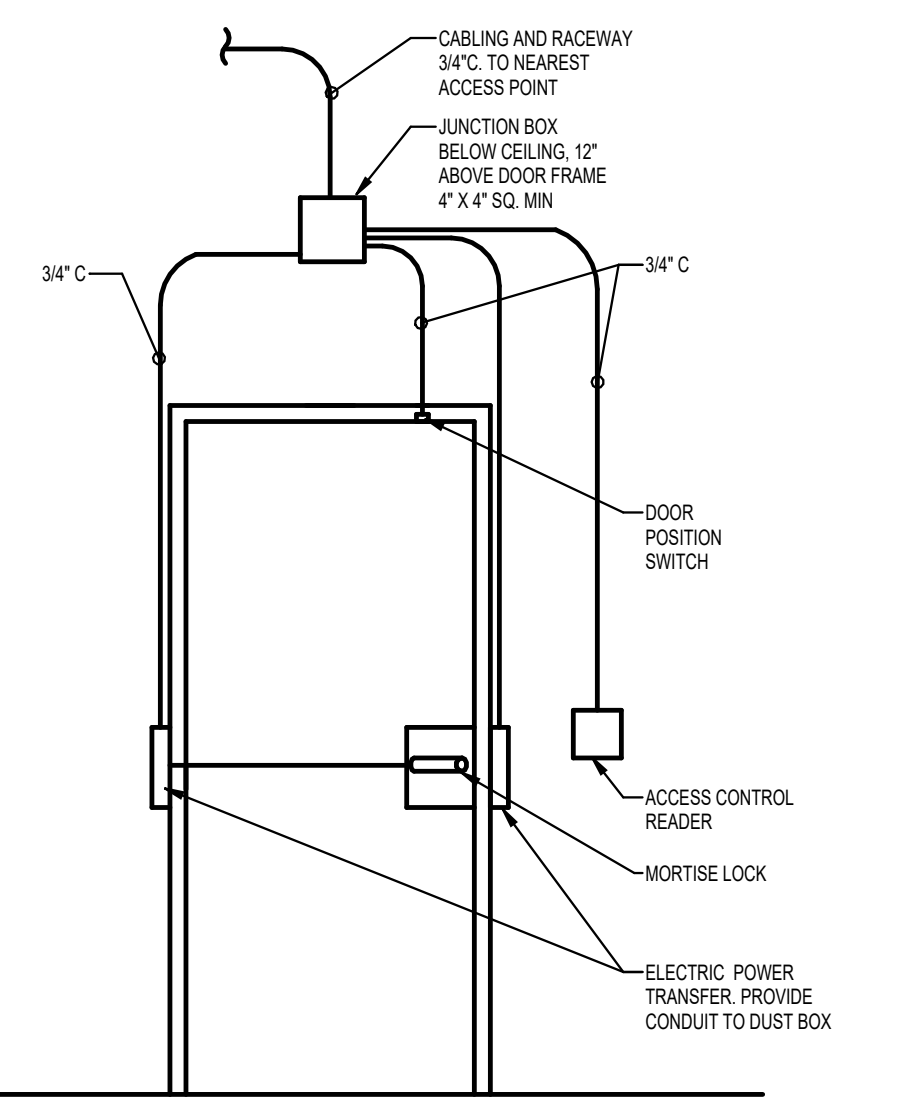
3 ELECTRICAL EQUIPMENT LABEL
SCALE: NONE



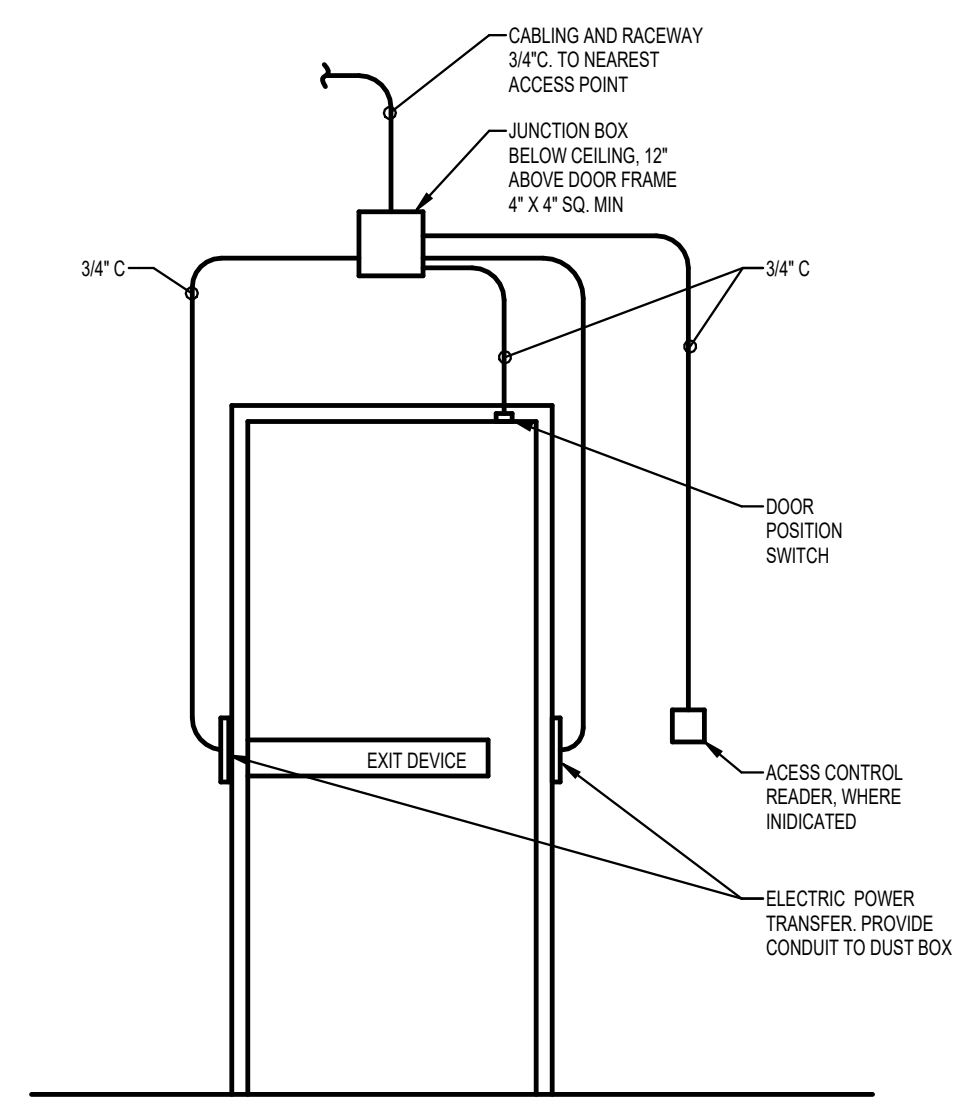
4 ELECTRICAL EQUIPMENT LABEL - REMOTE LOAD
SCALE: NONE



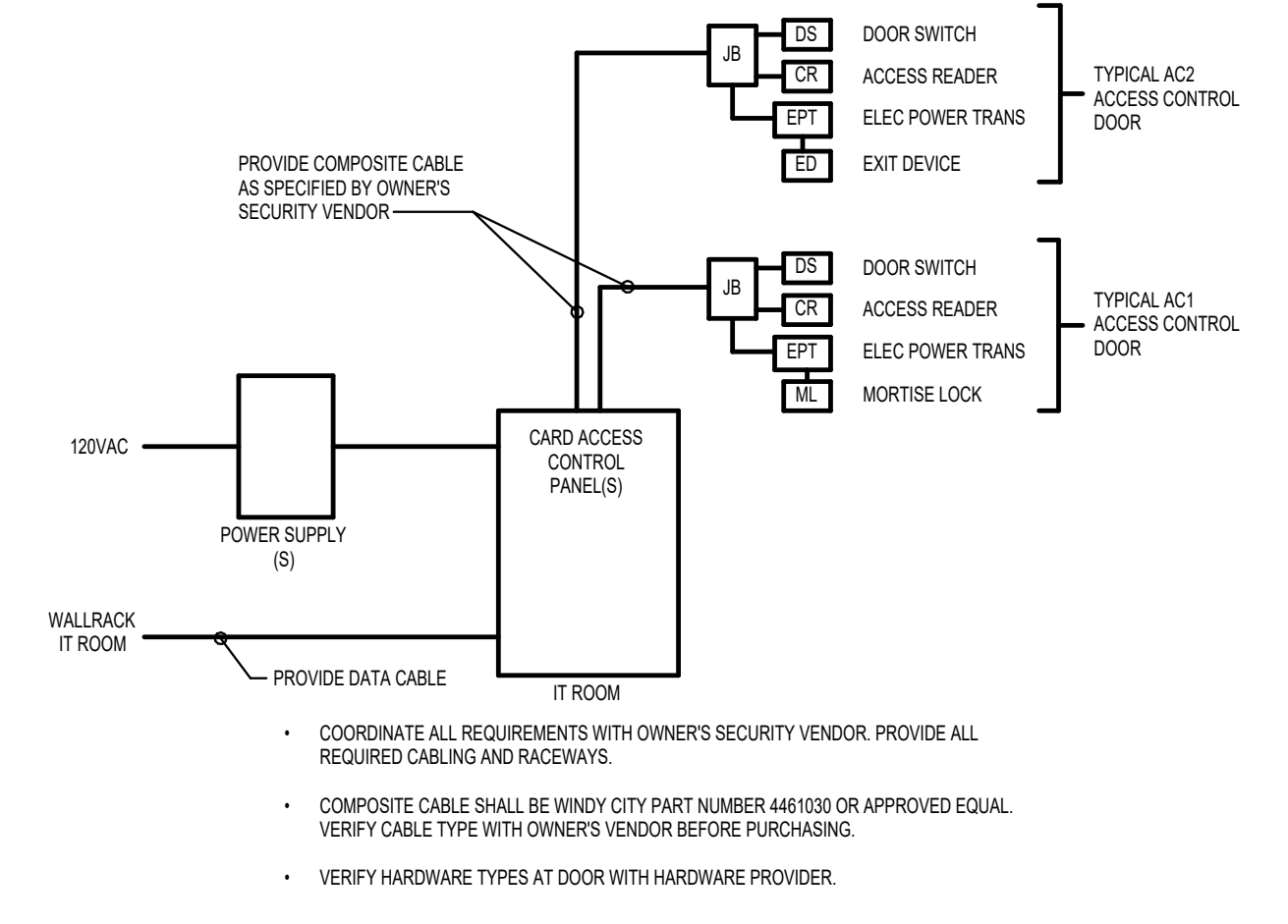
11 CONTROL WIRING DIAGRAM #1
SCALE: NONE



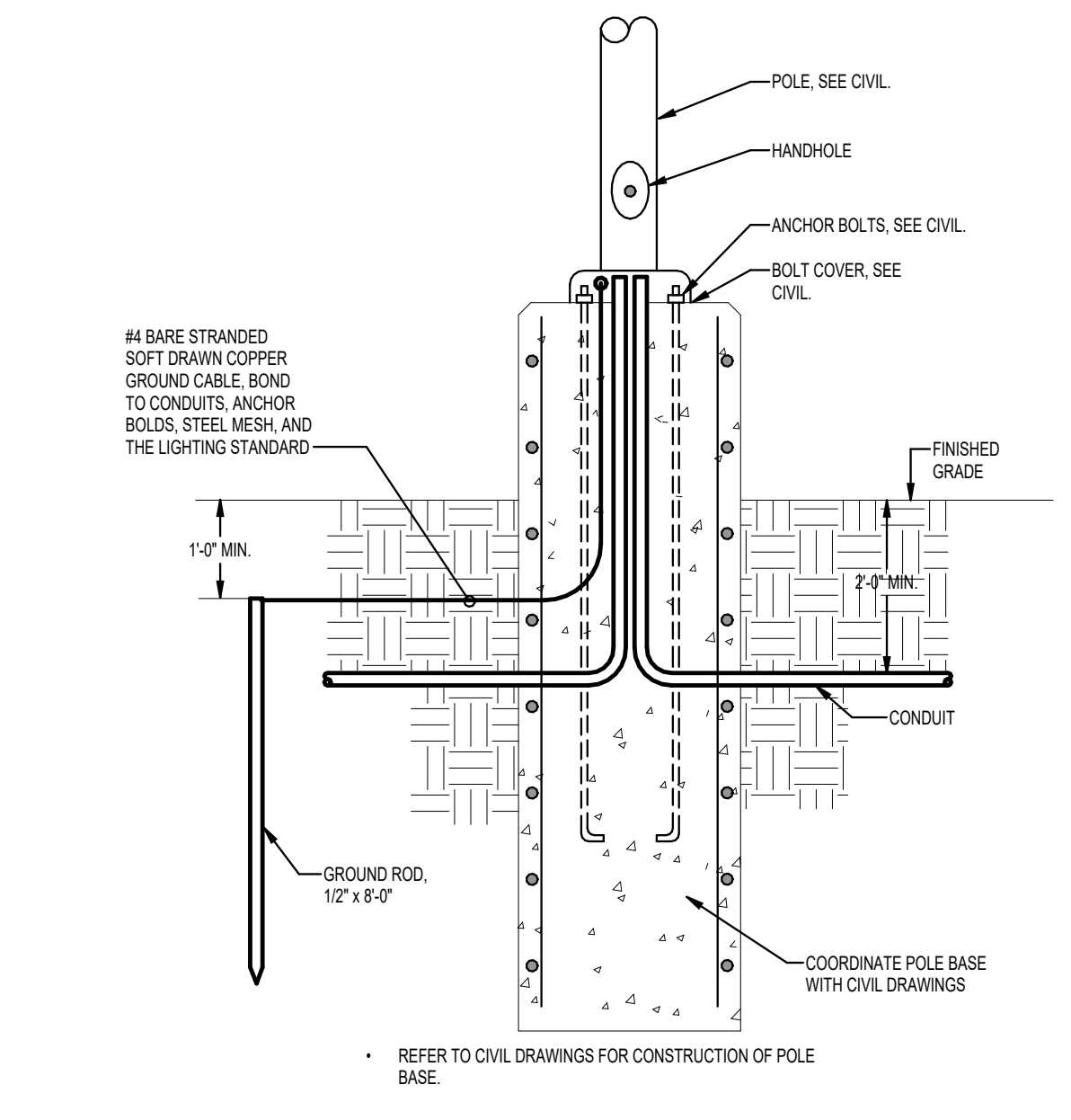
8 TYPE AC1 ACCESS CONTROL RACEWAY DIAGRAM
SCALE: NONE



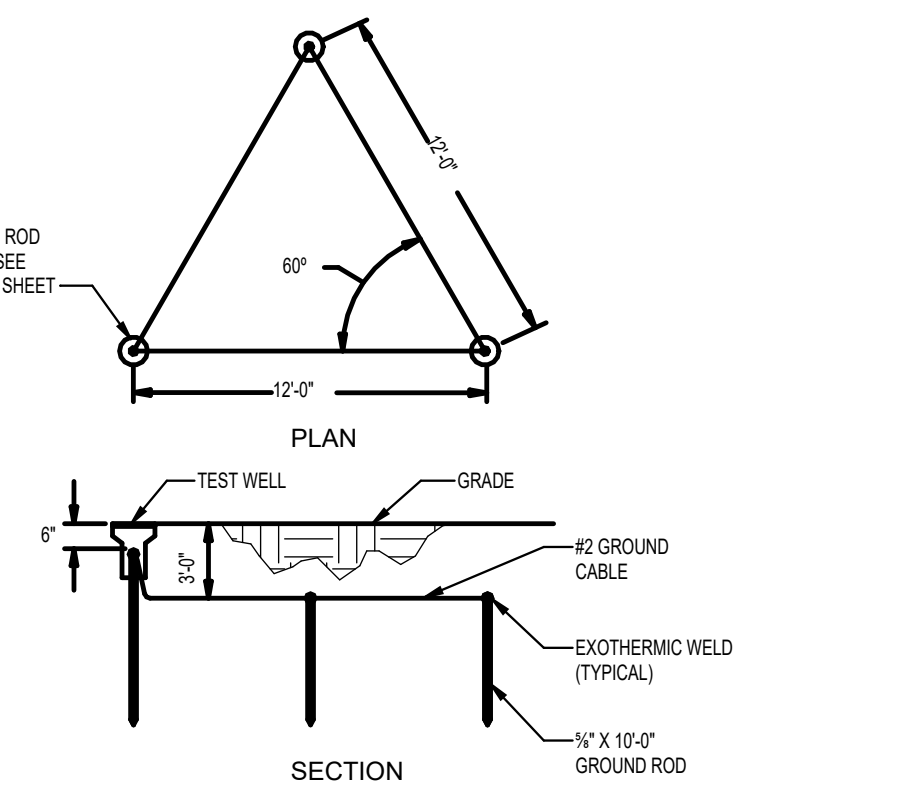
9 TYPE AC2 ACCESS CONTROL RACEWAY DIAGRAM
SCALE: NONE



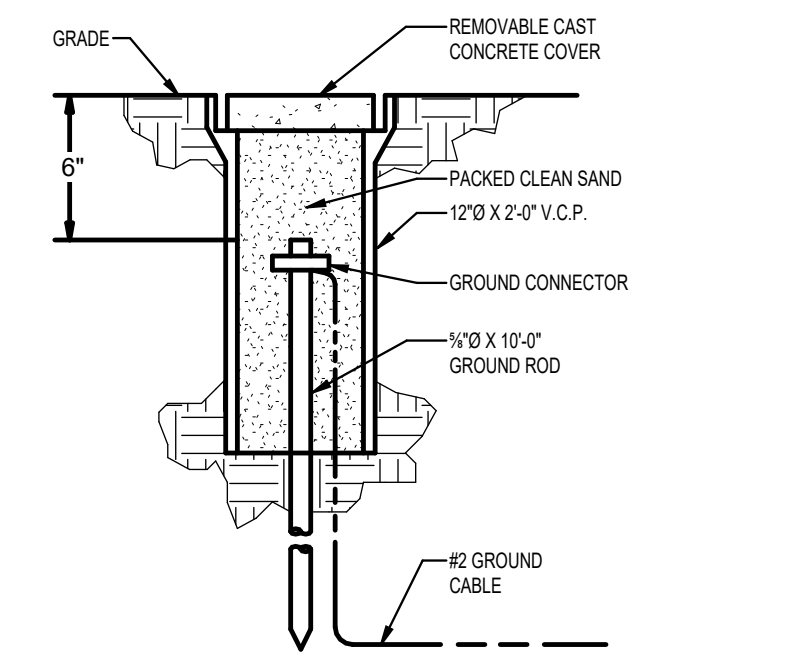
10 DOOR ACCESS CONTROL SYSTEM WIRING DIAGRAM
SCALE: NONE



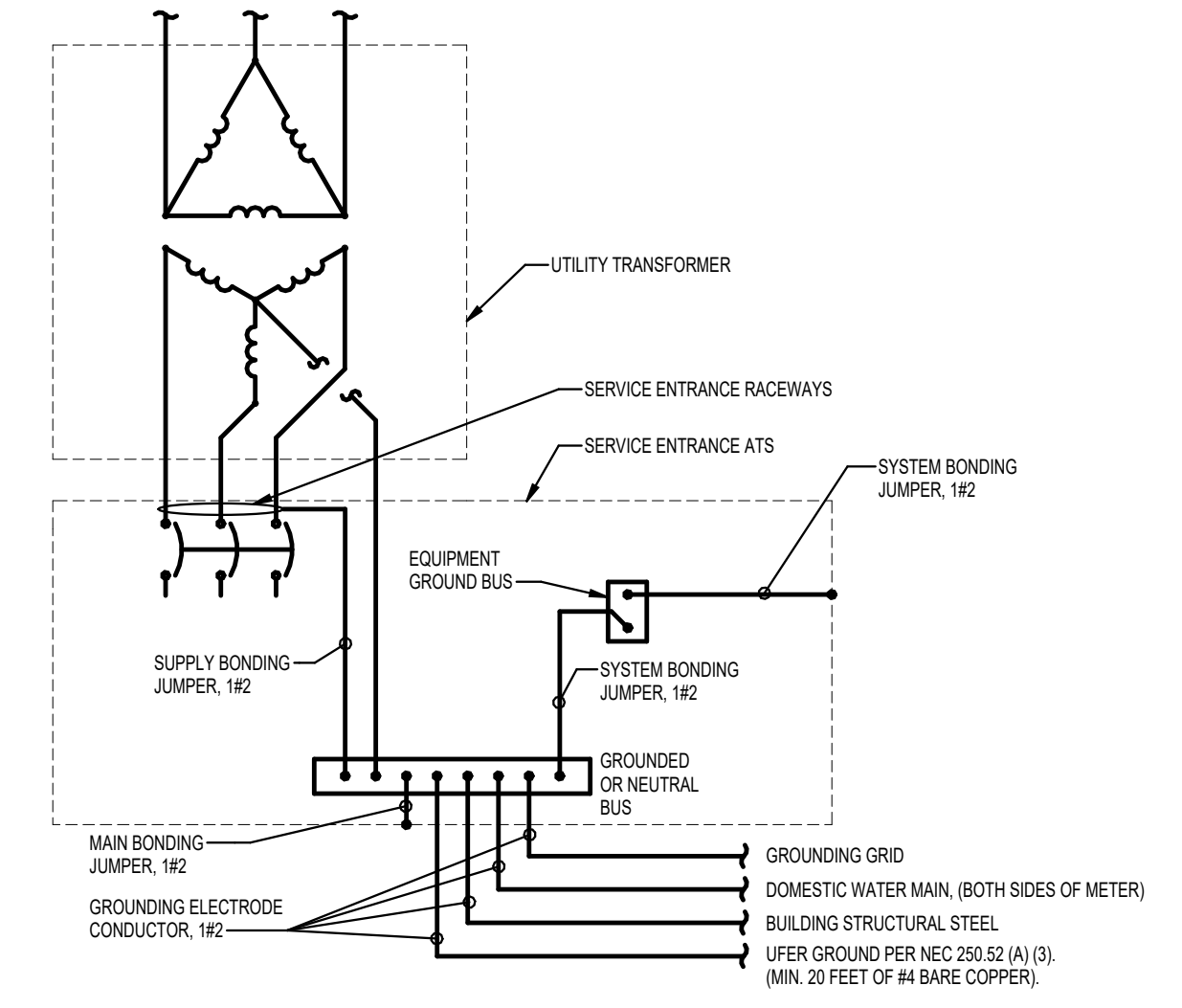
15 SITE LIGHTING POLE BASE ELECTRIC DETAIL
SCALE: NONE



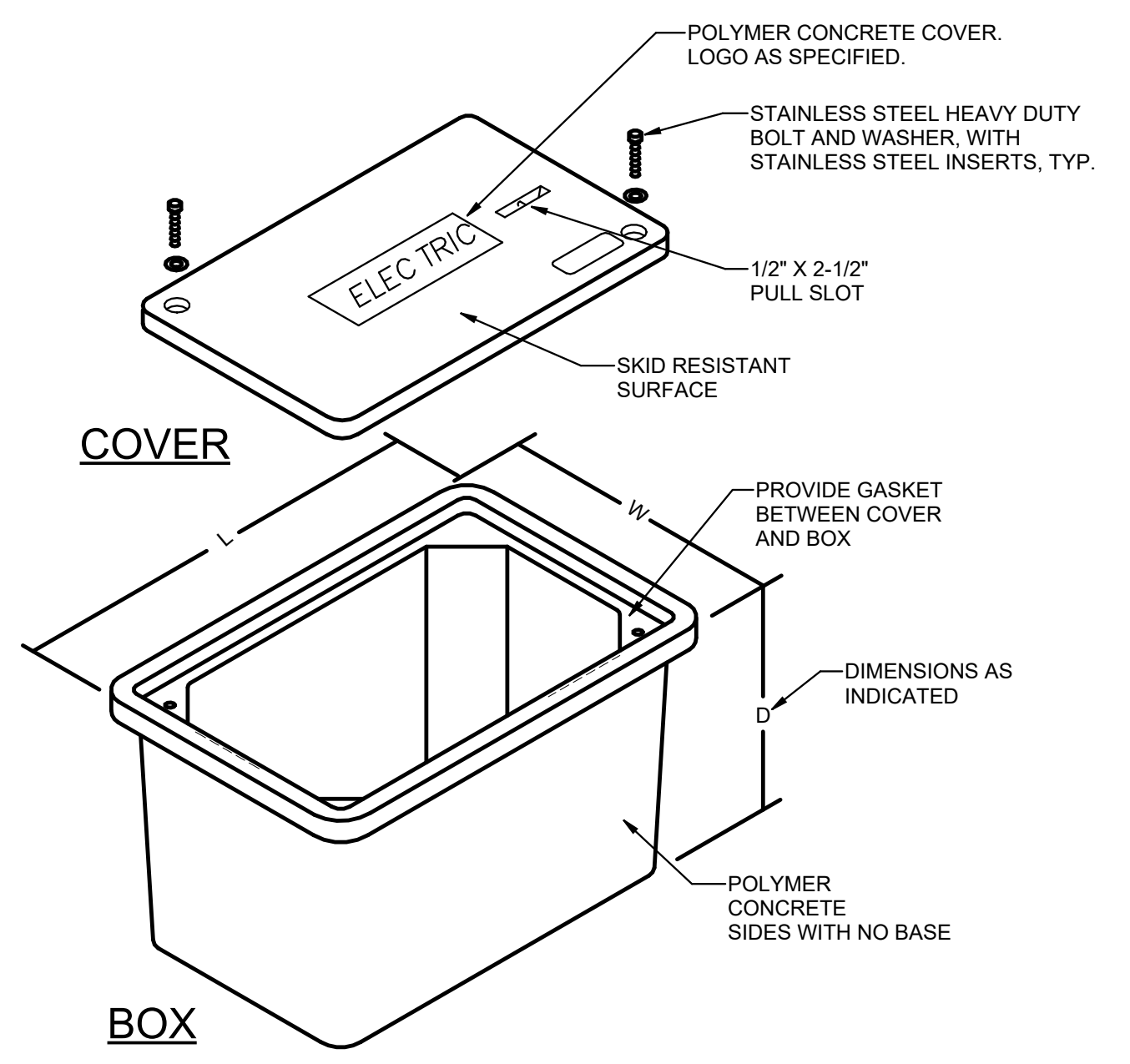
12 GROUNDING GRID DETAIL
SCALE: NONE



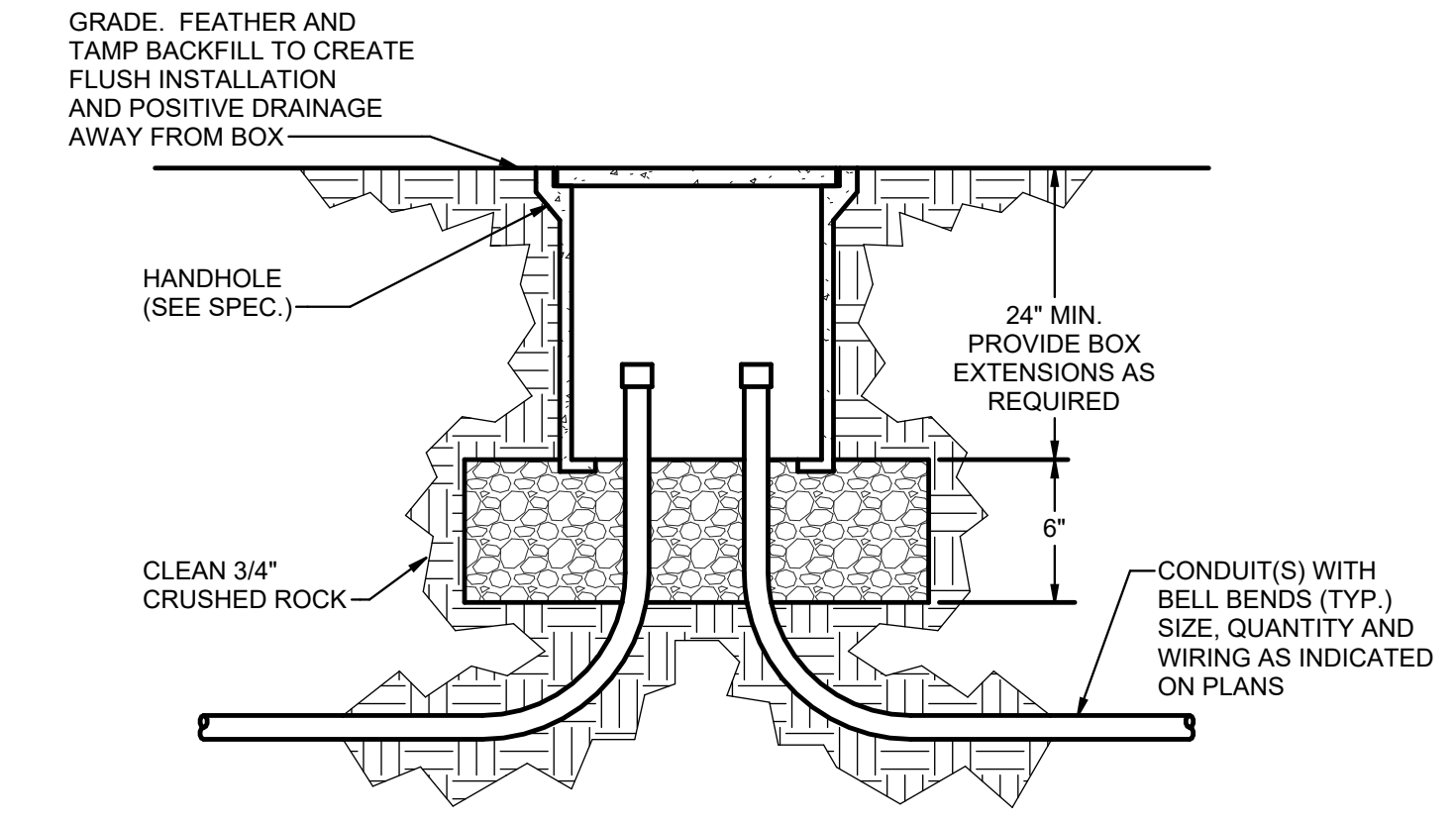
13 GROUNDING ROD TEST WELL
SCALE: NONE



14 MAIN ELECTRICAL SERVICE GROUND SYSTEM DETAIL
SCALE: NONE



6 ELECTRICAL HANDHOLE DETAIL
SCALE: NONE



7 HANDHOLE DETAIL INSTALLATION IN TURF AREAS
SCALE: NONE

RELEASE / REVISION	
No.	Description



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Project
NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

Drawing
ELECTRICAL DETAILS

Scale	Job	Sheet
As indicated	23.089	E4.0
Drawn	Date	
ZS	10/08/2024	

RELEASE / REVISION

No.	Date	Description

HVAC SYMBOLS AND ABBREVIATIONS LEGEND

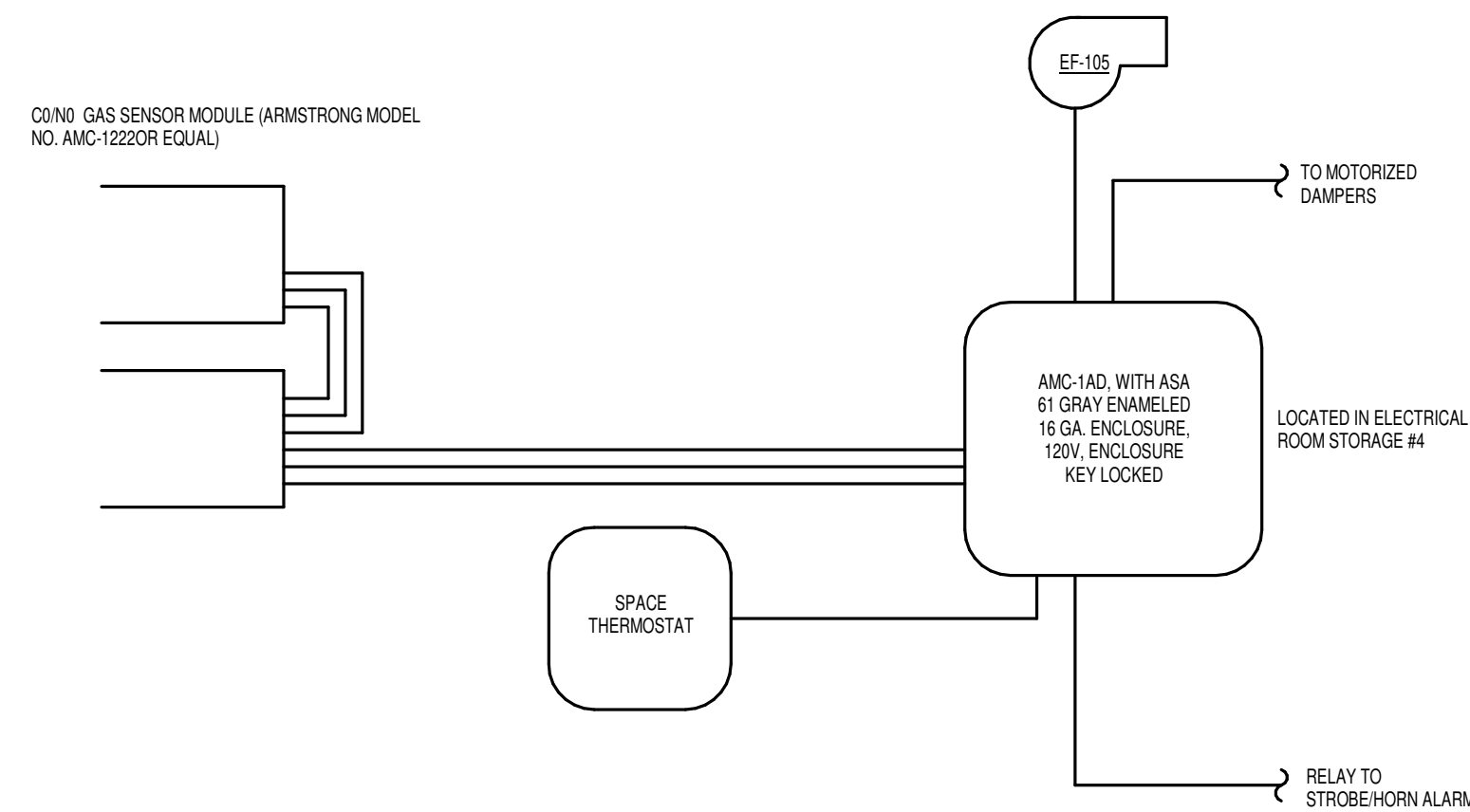
SYMBOLS			
3D	2D		
		ADJUSTABLE ROOM THERMOSTAT	E.A. EXHAUST AIR
		CARBON MONOXIDE SENSOR	CAP. CAPACITY
		BATHROOM EXHAUST FAN	PRESS. PRESSURE
		WALL EXHAUST FAN	TEMP. TEMPERATURE
		LOUVER	MIN. MINIMUM
		UNIT HEATER	MAX. MAXIMUM
		CABINET UNIT HEATER	AUTO. AUTOMATIC
		SPLIT SYSTEM AIR HANDLER	EX EXISTING
		HEAT PUMP	CONC. CONCRETE
			BTUH BTUH
			A.F.F. ABOVE FINISHED FLOOR
			EF EXHAUST FAN
			CONN. CONNECTION
			HTR HEATER
			CLG. CEILING
			T.C. TEMPERATURE CONTROL
			MECH. MECHANICAL
			RM ROOM
			S.P. STATIC PRESSURE
			SHT. SHEET
			ASSOC. ASSOCIATED
			REF. REFERENCE
			UH UNIT HEATER

GENERAL NOTES:

- A. CONTRACTOR SHALL PROVIDE MANUFACTURER'S RECOMMENDED ACCESS TO ALL EQUIPMENT. ACCESS SHALL BE REMOVABLE CEILING TILES OR CEILING ACCESS PANELS. COORDINATE LOCATION OF MECHANICAL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICT.
- B. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR LOCATION OF GRILLES AND DIFFUSERS.
- C. FOR ALL WALLS THAT ARE EXTENDED TO STRUCTURE PROVIDE SLEEVES FOR PIPING AND DUCTWORK PENETRATING WALLS (REFERENCE SPECIFICATIONS).
- D. DRAWINGS ARE DIAGRAMMATIC. PROVIDE ADDITIONAL OFFSETS, TRANSITIONS, ETC. AS REQUIRED TO AVOID INTERFERENCE'S ENCOUNTERED. FULL COORDINATION DRAWINGS WITH OTHER TRADES ARE REQUIRED.
- E. IF THE CONTRACTOR DOES NOT CLEARLY UNDERSTAND THESE PLANS OR IS NOT SURE OF THEIR MEANING, HE SHOULD OBTAIN THE ARCHITECT'S WRITTEN EXPLANATION AND INTERPRETATION PRIOR TO SUBMITTING HIS BID. SINCE THE CONTRACTORS WILL BE HELD RIGIDLY TO THE INTERPRETATION OF THE ARCHITECT.
- F. CUT, PATCH, REPAIR AND RESTORE TO ORIGINAL CONDITION ALL OPENINGS IN WALLS, FLOORS, CEILINGS, ETC. WHERE REQUIRED. PATCHING SHALL MATCH EXISTING CONSTRUCTION & FINISHES. COORDINATE ALL PATCHING AND FINISHES WITH ARCHITECT.

Landis Sewerage Authority Locker Room: Required OA Calc.

Unit	Room #	Room Tag	Area	cfm/sqft	Occupant Density	OA cfm/person	Required OA	Unit OA cfm
DSS-1	108	Office	93	0.06	1.00	5	11	11
DSS-2		IT Room	53.1	0	0.00	0	0	0
CUH-105	105	Janitors Closet	26	0	0.00	0	0	0
CUH-106	106	Bathroom	48	0	1.00	0	0	0
CUH-107	107	Vestibule	102	0.06	0.00	0	6	6
UH-110	110	Storage Area #1	1627	0.06	0.00	0	98	98
UH-105A	105	Storage Area #4	3835	0.06	0.00	0	230	230



CARBON MONOXIDE GAS SENSOR MODULE
SCALE: NONE

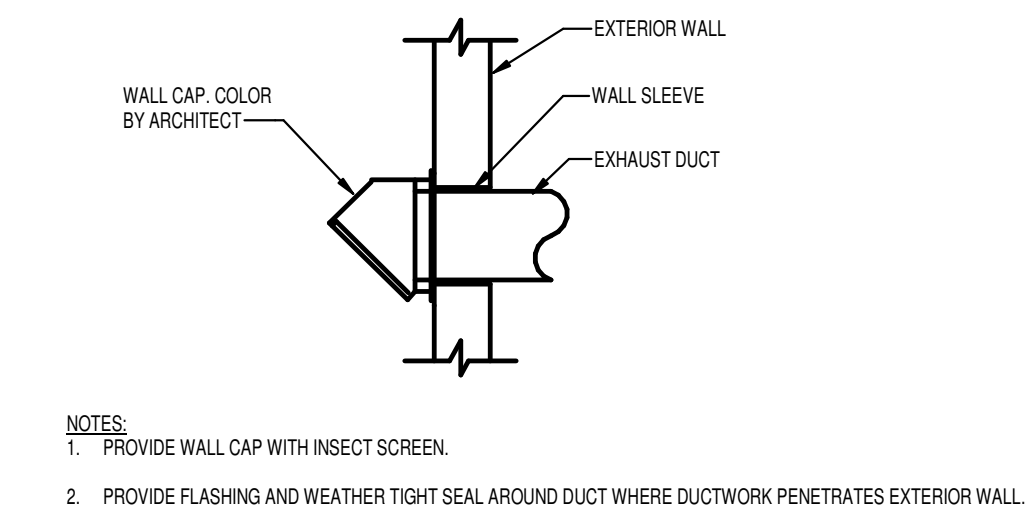
NOTES:

- 1. PROVIDE ONE CO,NO. SENSOR FOR EACH 5,000 SQUARE FEET OF GARAGE SPACE AS INDICATED.
- 2. THE MONITORING STATION SHALL ACCEPT DIGITAL INPUTS FROM UP TO FOUR SENSORS TO PROVIDE ALARM STATUS INDICATION FOR EACH CHANNEL.
- 3. THE NORMALLY OPEN FAN RELAY CONTACTS ON THE MONITOR SHALL BE USED AS NORMALLY CLOSED MOTOR STARTERS, PILOT RELAY, OR CONTRACTOR.
- 4. WHEN ANY SENSOR DETECTS CO LEVELS ABOVE 25ppm OR IF A FAULT IS DETECTED, THE CORRESPONDING ALARM STATUS INDICATOR SHALL LIGHT, AND THE FAN RELAY DE-ENERGIZE, CAUSING THE CORRESPONDING FANS TO RUN PER SEQUENCE BELOW.
- 5. IF SPACE TEMPERATURE EXCEEDS 80°F (ADJ.) THE CORRESPONDING FANS SHALL RUN REGARDLESS OF THE CO MONITOR STATUS.
- 6. WHEN CO,NO. RETURNS TO SAFE LEVELS, AND TEMPERATURE DROPS BELOW SPACE SET POINT, EXHAUST FAN SHALL GO TO MINIMUM RUNNING STATUS.

EF-105 STORAGE EXHAUST FANS SEQUENCE OF OPERATION

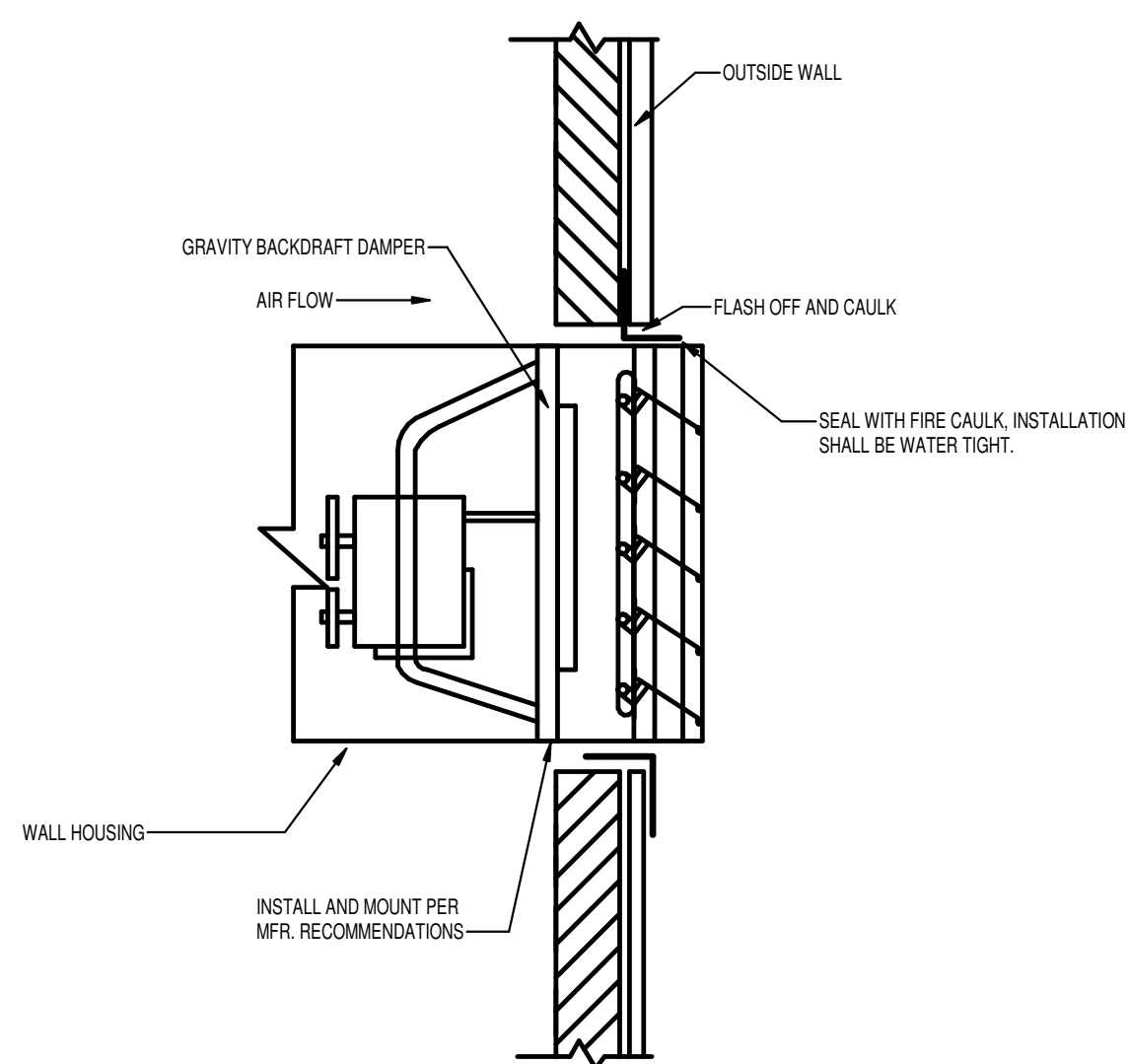
- 1. THRESHOLD #1: BELOW 25 PPM ONE (1) EXHAUST FAN SHALL RUN AT MINIMUM RPM TO BRING IN FRESH AIR AND MAINTAIN SATISFACTORY CO,NO. FAN STATUS SHALL BE MONITORED BY CURRENT SENSOR AND DIFFERENTIAL FLOW SWITCH.
- 2. THRESHOLD #2: HIGH ALARM LEVEL TRIP AT 75 PPM THE CONTROLLER SHALL TURN ON HORN/SBUZZER AND ALARM LED LOCATED ON CONTROLLER OF HIGH PPM CO,NO. CONCENTRATIONS AND DIAL ALARM THROUGH MODEM TO DESIGNATED MAINTENANCE MONITORING PHONE NUMBER.
- 3. INTERLOCK MOTOR OPERATED DAMPERS ON OUTDOOR AIR LOUVERS TO OPEN AT THRESHOLD #2.
- 4. IF SPACE TEMPERATURE EXCEEDS 80°F (ADJ.) ONE (1) EXHAUST FAN SHALL RAMP UP PROPORTIONALLY TO HIGH SPEED. SECOND FAN SHALL CONTINUE IN STAND-BY MODE.

1 PARKING GARAGE EXHAUST FAN SEQUENCE OF OPERATION
SCALE: NONE



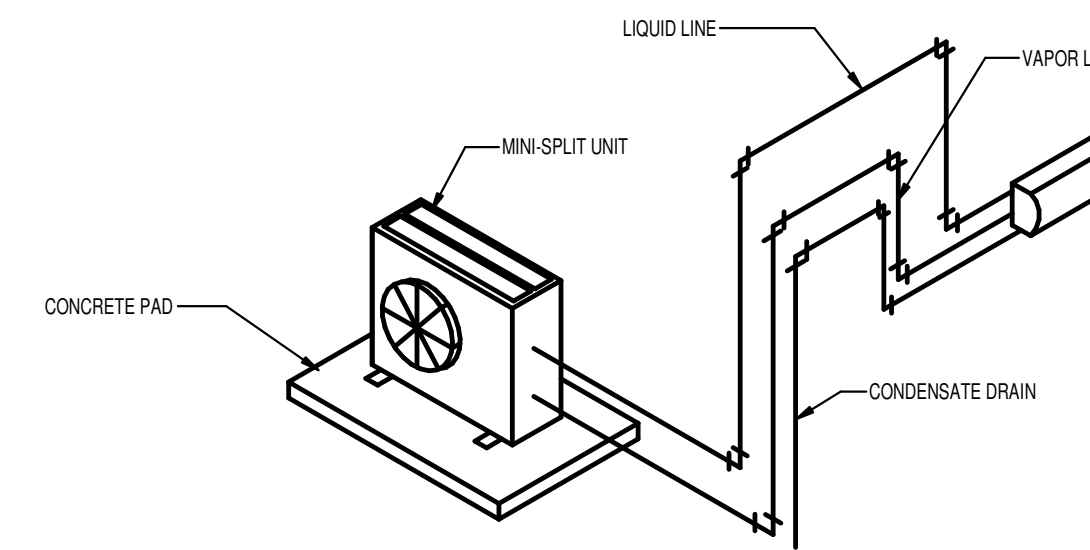
- NOTES:**
- 1. PROVIDE WALL CAP WITH INSECT SCREEN.
 - 2. PROVIDE FLASHING AND WEATHER TIGHT SEAL AROUND DUCT WHERE DUCTWORK PENETRATES EXTERIOR WALL.

2 SIDEWALL EXHAUST DETAIL
SCALE: NONE



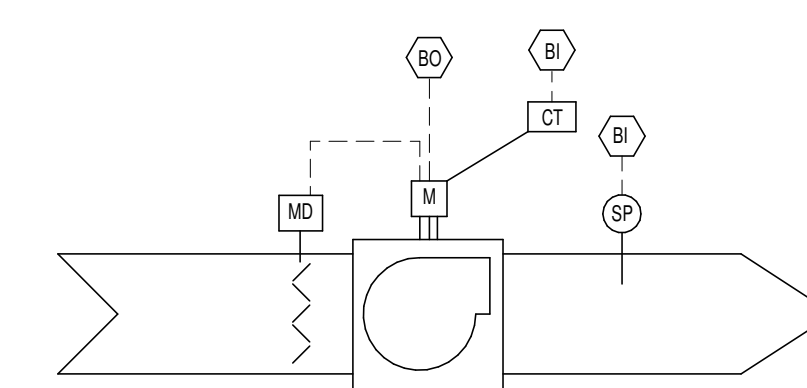
- NOTES:**
- 1. CONTRACTOR SHALL COORDINATE DIMENSION WITH ARCHITECT AND FRAMING CONTRACTOR.
 - 2. CONTRACTOR SHALL COORDINATE ALL CODE AND MANUFACTURER CLEARANCES BEFORE INSTALLATION.

3 EXHAUST FAN DETAIL (SIDEWALL)
SCALE: NONE



- NOTES:**
- 1. SEE MANUFACTURER'S PIPING DIAGRAM FOR SIZING, CHARGING AND LONG LINE SET REQUIREMENTS.
 - 2. SEE MANUFACTURER'S INSTALLATION MANUAL FOR TORQUE REQUIREMENTS ON LIQUID AND VAPOR PIPE FLEX FITTINGS.
 - 3. PVC SLEEVES AT ALL WALL, FLOOR AND CEILING PENETRATIONS.
 - 4. SEE PLAN FOR CONDENSATE ROUTING.
 - 5. ANCHOR OUTSIDE UNIT TO CONCRETE PAD.

4 MINISPLIT/HEAT PUMP PIPING (PAD)
SCALE: NONE



EXHAUST FANS CONTROL DIAGRAM
SCALE: NONE

EXHAUST FANS SEQUENCE OF OPERATION

EF-1 FAN SHALL RUN WHEN BATHROOM LIGHTS ARE ON.

5 EXHAUST FAN CONTROLS
SCALE: NONE



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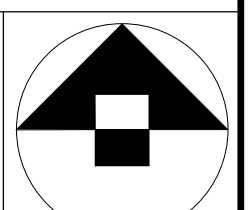


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Project
NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

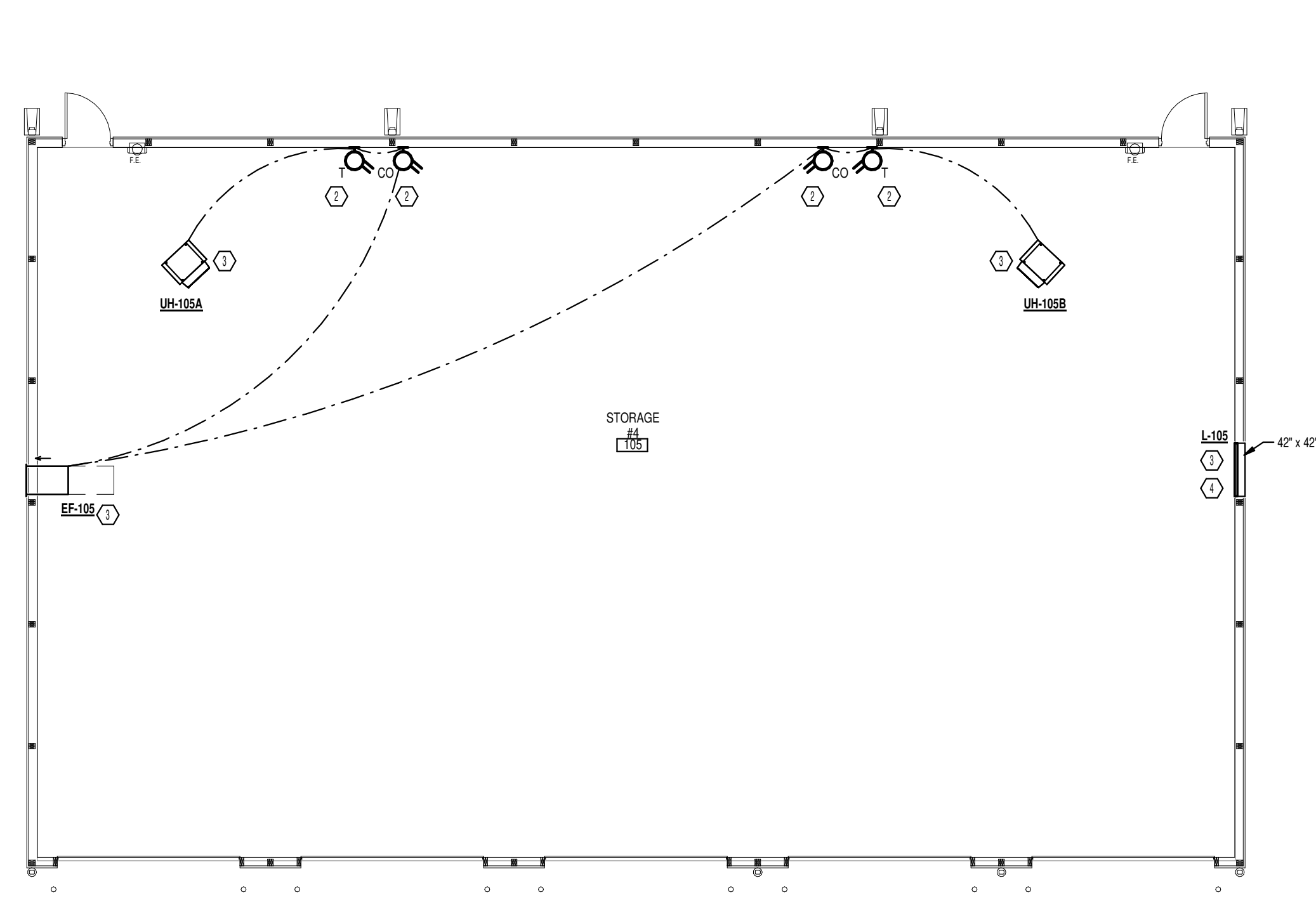
Drawing
HVAC GENERAL NOTES, DETAIL & LEGEND



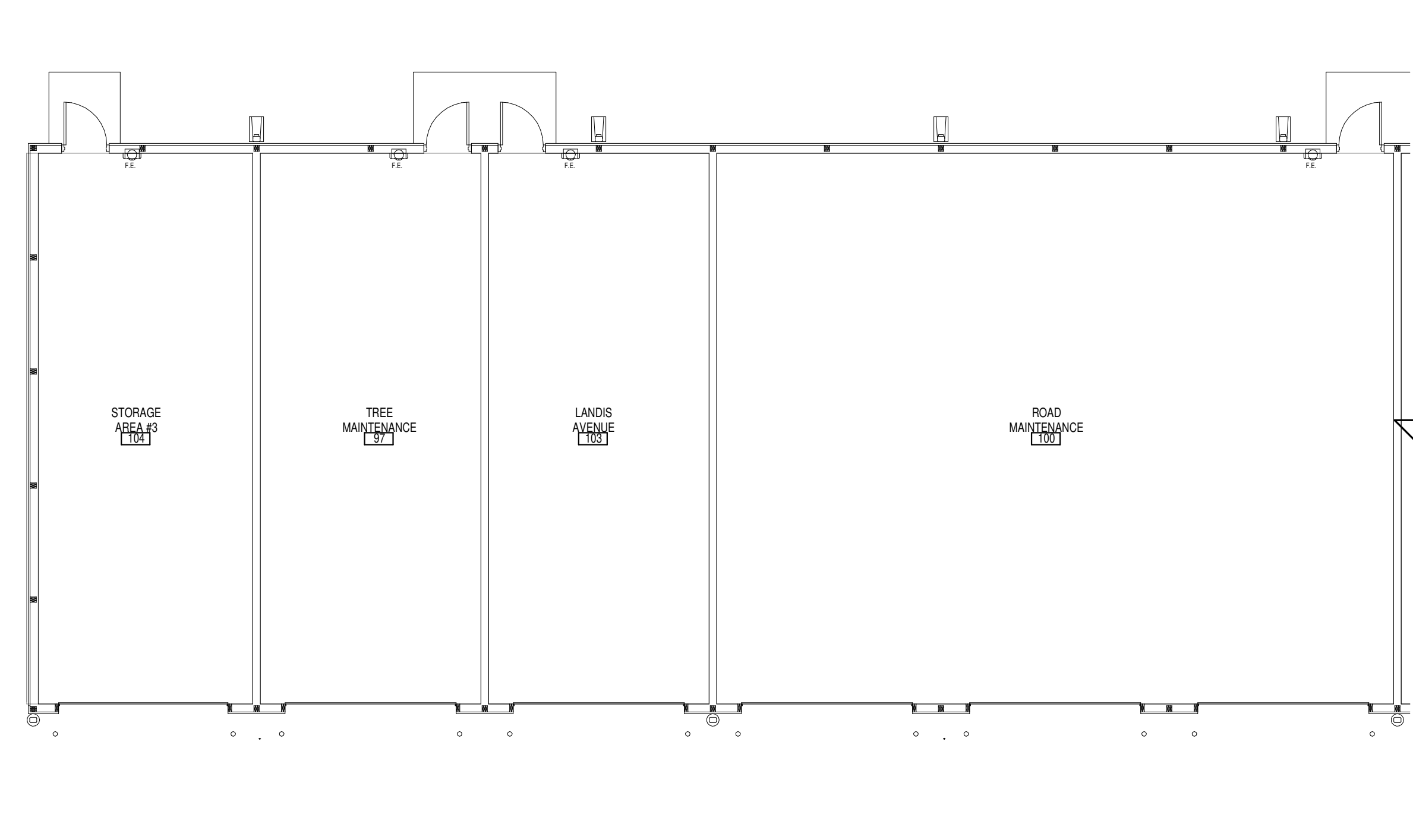
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Date 10/08/2024

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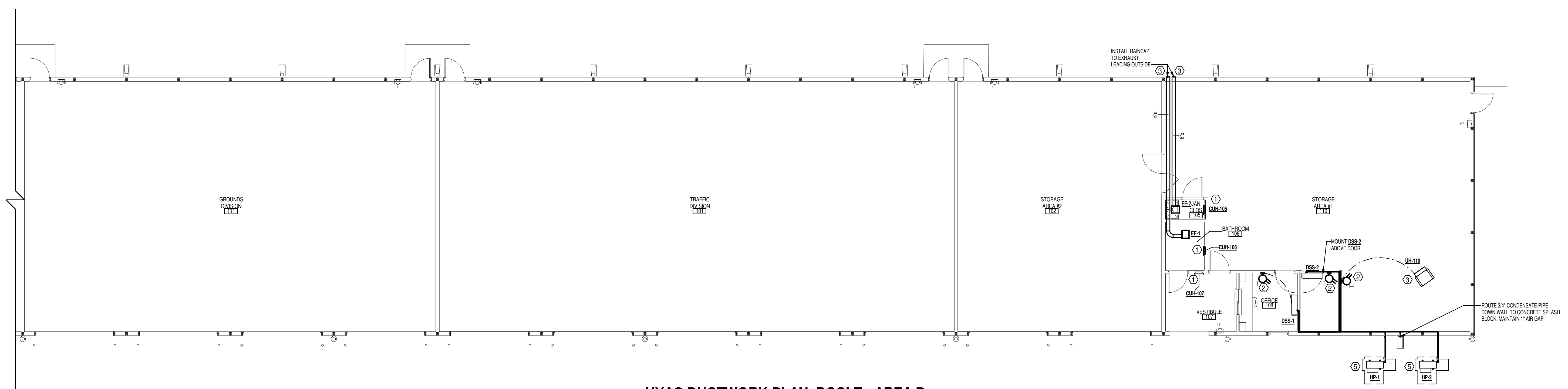
- KEYED NOTES:**
1. MOUNT CABINET HEATER 18" A.F.F. RECESSED INTO WALL.
 2. MOUNT THERMOSTAT OR SENSOR 4' A.F.F.
 3. MOUNT MOTORIZED DAMPER, EXHAUST FAN, OR CEILING HEATER 11' A.F.F.
 4. PLACE BIRDSCREEN ON PLENUM FOR LOUVER.
 5. INSTALL ON 4" CONCRETE PAD, BOLT IN PLACE WITH (4) 3/8" LAG BOLTS, USING LARGE METAL WASHERS.



① HVAC DUCTWORK PLAN BCCLT - AREA A
SCALE: NONE



② HVAC DUCTWORK PLAN BCCLT - AREA B
SCALE: 1/8" = 1'-0"



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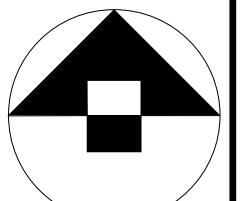


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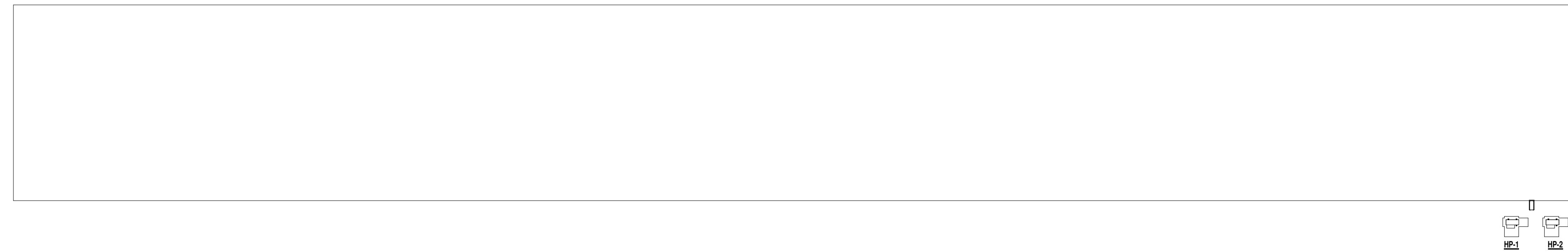
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Project
NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

Drawing
HVAC DUCTWORK PLAN



Scale 1/8" = 1'-0"	Job 23.089	Sheet M1.0
Drawn JJW	Date 10/08/2024	



HVAC ROOF PLAN
SCALE: 1/16" = 1'-0"

SCHEDULE OF MINI SPLIT SYSTEMS

NOTES:
1. PROVIDE WITH REMOTE MOUNTED LCD DISPLAY WITH TEMPERATURE SETTING AND FAN SPEED CONTROL.
2. PROVIDE UNIT WITH CONDENSATE PUMP.
3. CONTRACTOR SHALL PIPE UNITS PER MANUFACTURER RECOMMENDATIONS.
4. VALUES LISTED CORRESPOND TO HIGH SETTING OF THE UNIT.
5. SHOP DRAWINGS MUST INCLUDE PERFORMANCE DATA OR THEY WILL BE REJECTED.

MARK	MANUFACTURER	MODEL No.	TOTAL COOLING CAPACITY TOTAL	HEATING CAPACITY	CFM	SPL (dBA)	ELECTRICAL CHARACTERISTICS			NOTES
							VOLTAGE	PHASE	MCA	
DSS-1	MITSUBISHI ELECTRIC	NTXWST12B112AA	12000.0 Btu/h	14400 Btu/h	276	43	208	1	1 A	ALL
DSS-2	MITSUBISHI ELECTRIC	NTXWST12B112AA	12000.0 Btu/h	14400 Btu/h	276	43	208	1	1 A	ALL

SCHEDULE OF CONDENSING UNITS / HEAT PUMPS

NOTES:
1. PROVIDE WITH REMOTE MOUNTED WIRED 24/7 PROGRAMMABLE THERMOSTAT.
2. CONTRACTOR SHALL PIPE UNITS PER MANUFACTURER RECOMMENDATIONS.
3. PROVIDE OUTDOOR UNIT WITH WIND BAFFLES.
4. INDOOR UNIT SHALL BE POWERED BY OUTDOOR UNIT. ROUTE MANUFACTURER RECOMMENDED CABLING BETWEEN CONDENSING UNIT AND INDOOR UNIT.

MARK	MANUFACTURER	MODEL No.	CAPACITY	MINIMUM EFFICIENCY (EER/SEER)	MINIMUM STARTING AND OPERATING TEMPERATURE	ELECTRICAL CHARACTERISTICS			NOTES
						VOLTAGE	PHASE	MCA/MOP (AMPS)	
HP-1	MITSUBISHI	NTXSS12B112AA	120000.0 Btu/h	23.3	23 °F	208	1	11	ALL
HP-2	MITSUBISHI	NTXSS12B112AA	120000.0 Btu/h	23.3	23 °F	208	1	11	ALL

SCHEDULE OF ELECTRIC CABINET HEATER

NOTES:
1. COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER STANDARD COLORS.
2. CONTRACTOR TO FIELD VERIFY LENGTH OF MOUNTING WALL WITH SHOP DRAWING SUBMITTAL.
3. PROVIDE WITH DISCONNECT SWITCH, THERMOSTAT, RELAYS, AND ALL ACCESSORIES FOR SINGLE POINT OF ELECTRIC CONNECTION UTILIZATION.
4. PROVIDE WITH SEMI-RECESSED MOUNTING SLEEVE.
5. SHOP DRAWINGS MUST INCLUDE PERFORMANCE DATA OR THEY WILL BE REJECTED.

MARK	MANUFACTURER	MODEL No.	SIZE	HEATING CAPACITY	WATTS	ELECTRICAL CHARACTERISTICS			NOTES
						VOLTAGE	PHASE	MOUNTING	
CUH-105	QMARK	CWH1101DSF	14AWG	3413.0 Btu/h	1000 W	120	1	WALL	ALL
CUH-106	QMARK	CWH1101DSF	14AWG	3413.0 Btu/h	1000 W	120	1	WALL	ALL
CUH-107	QMARK	CWH1101DSF	14AWG	3413.0 Btu/h	1000 W	120	1	WALL	ALL

SCHEDULE OF ELECTRIC UNIT HEATERS

NOTES:
1. PROVIDE UNITS WITH CIRCUIT BREAKERS AND INTERNAL TRANSFORMER.
2. PROVIDE WITH REMOTE THERMOSTAT.
3. PROVIDE UNIT WITH FACTORY INSTALLED FAN SPEED & HEAT SELECTOR SWITCH.
4. PROVIDE UNIT WITH DISCONNECT SWITCH AND OVERLOAD PROTECTION.
5. SHOP DRAWINGS MUST INCLUDE PERFORMANCE DATA OR THEY WILL BE REJECTED.

MARK	MANUFACTURER	MODEL No.	HEATING CAPACITY	CFM	KW	MOTOR H.P.	FRPM	ELECTRICAL CHARACTERISTICS		NOTES
								VOLTAGE	PHASE	
UH-105A	QMARK	MUH-25-2	63.8 Btu/h	2100	18.7	1/4	2100	208	3	ALL
UH-105B	QMARK	MUH-25-2	68.2 Btu/h	2100	18.7	1/4	2100	208	3	ALL
UH-110	QMARK	MUH-07-6	25.6 Btu/h	650	7.5	1/30	1600	208	1	ALL

SCHEDULE OF EXHAUST FANS

NOTES:
1. PROVIDE WITH BACKDRAFT DAMPER AND DISCONNECT.
2. SHOP DRAWINGS MUST INCLUDE PERFORMANCE DATA OR THEY WILL BE REJECTED.
3. FAN OPERATES WITH LIGHTSWITCH.
4. FAN OPERATES WITH CO2 SENSOR

MARK	AREA SERVED	MANUFACTURER	MODEL No.	SIZE	HP	FRPM	CFM	STATIC PRESSURE	ELECTRICAL CHARACTERISTICS		FAN MOUNTING	NOTES
									VOLTAGE	PHASE		
EF-1	BATHROOM	GREENHECK	SP	870	16 WATTS	675	71	0.13 in-wg	115	1	CEILING	1,2,3
EF-2	JANITORS CLOSET	GREENHECK	SP	870	16 WATTS	675	71	0.13 in-wg	115	1	CEILING	1,2,3
EF-105	STORAGE #4	GREENHECK	SE1-16	428-VG	3/4	1716	3000	0.25 in-wg	115	1	WALL	1,2,4

SCHEDULE OF LOUVERS

NOTES:
1. DESIGN SHALL BE DRAINABLE PREVENT INFILTRATION OF WIND DRIVEN RAIN.
2. PROVIDE BIRDSCREEN.
3. SHOP DRAWINGS MUST INCLUDE PERFORMANCE DATA OR THEY WILL BE REJECTED.

MARK	MANUFACTURER	MODEL No.	DESCRIPTION	TYPE	CFM	PRESSURE DROP	VELOCITY	FREE AREA VELOCITY	FREE AREA	CONNECTION DUCT SIZE	MOUNTING	NOTES
L-105	GREENHECK	GCE-402	4 IN GRAVITY EXHAUST DAMPER, DRAINABLE	GRAVITY	3000	0.03 in-wg	250 FPM	634.5	5 SF	42" x 42"	WALL	ALL

BUILDING VENTILATION CHART

NAME	AREA (SF)	OCCUPANT DENSITY	OA CFM/PERSON	PERSON OA RQMT	CFM/SQFT	SPACE OA RQMT (CFM)	TOTAL OA RQMT (CFM)	OA PROVIDED	NATURAL OA (SQFT)	NATURAL OA %	UNIT SERVING AREA
Storage Area # 4	3835	0	N/A	0	0.06	230.1	230.1	NATURAL VENTILATION (BAY DOORS: IMC 402.1)	840	21.9	UH-105A, UH-105B, EF-105
TREE MAINTENANCE	597	0	N/A	0	0.06	35.82	35.82	NATURAL VENTILATION (BAY DOORS: IMC 402.1)	168	28.14	N/A
ROAD MAINTENANCE	1833	0	N/A	0	0.06	109.98	109.98	NATURAL VENTILATION (BAY DOORS: IMC 402.1)	504	27.49	N/A
TRAFFIC DIVISION	3065	0	N/A	0	0.06	183.9	183.9	NATURAL VENTILATION (BAY DOORS: IMC 402.1)	840	27.40	N/A
STORAGE AREA #2	1213	0	N/A	0	0.06	72.78	72.78	NATURAL VENTILATION (BAY DOORS: IMC 402.1)	336	27.69	N/A
LANDIS AVENUE	597	0	N/A	0	0.06	35.82	35.82	NATURAL VENTILATION (BAY DOORS: IMC 402.1)	168	28.14	N/A
STORAGE AREA #3	612	0	N/A	0	0.06	36.72	36.72	NATURAL VENTILATION (BAY DOORS: IMC 402.1)	168	27.45	N/A
JAN. CLOS.	18	0	N/A	0	0.06	1.08	1.08	EXHAUST	N/A	N/A	EF-2
BATHROOM	48	1	N/A	0	N/A	N/A	N/A	EXHAUST	N/A	N/A	EF-1
VESTIBULE	102	0	N/A	0	0.06	6.12	6.12	NATURAL VENTILATION (ADJOINING SPACES: IMC 402.3)	42	41.17	CUH-107
OFFICE	93	1	5	5	0.06	5.58	10.58	NATURAL VENTILATION (ADJOINING SPACES: IMC 402.3)	42	45.16	DSS-1
STORAGE AREA #1	1627	0	N/A	0	0.06	97.62	97.62	NATURAL VENTILATION (ADJOINING SPACES: IMC 402.3)	147	9.03	UH-110
GROUND DIVISION	2451	0	N/A	0	0.06	147.06	147.06	NATURAL VENTILATION (BAY DOORS: IMC 402.1)	672	27.41	N/A

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No.	Date	Description



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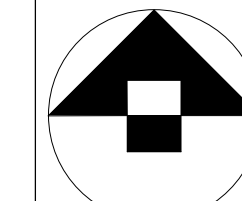


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Drawing
HVAC ROOF PLAN, SPECIFICATIONS & SCHEDULE



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Drawn JJW
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SCHEDULE OF PLUMBING FIXTURES

MARK	FIXTURE	MANUFACTURER	MODEL No.	FIXTURE TYPE	FIXTURE MATERIAL	FIXTURE STYLE	FAUCET / VALVE				SUPPLY STOPS	DRAIN				DOMESTIC CW	DOMESTIC HW	SANITARY WASTE	SANITARY VENT	REMARKS	
							MANUFACTURER	MODEL No.	SPOUT	HANDLES		CENTERS	TYPE	SIZE	TRAP / ARM SIZE						TAILPIECE
L1	LAVATORY	ZURN	Z5344	WALL-HUNG A.D.A. HEIGHT	VITREOUS CHINA	20" X 18" 3-HOLE	ZURN	Z81000-XL-18M	INTEGRAL 1.5 GPM VR LAMINAR FLOW OUTLET	LEVER	4"	ZURN Z81016-XL-LR-8950-12-PC	ZURN Z8746-PC	1 1/4"	17 GAUGE 1.25" X 1.5"	OFFSET	1/2"	1/2"	1 1/2"	1 1/2"	PROVIDE WITH CONCEALED ARM WALL CARRIER Z1231-EZR. P-TRAP SHALL BE ADJUSTABLE CAST BRASS WITH CLEANOUT. PROVIDE ZURN Z8946-3-N-T PROTECTIVE COVERINGS FOR ALL TAILPIECES, TRAP, SUPPLIES.
MB1	MOP BASIN	ZURN	Z1996-36-MH-WG	FLOOR-SET	HIGH DENSITY COMPOSITE BASIN	36"x24"x10"	ZURN	Z843M1-XL-CS-HCT-WHK-SH	3/4" HOSE SPOUT W/ VACUUM BREAKER	LEVERS	8"									WITH 60" VINYL HOSE, HOSE BRACKET, VINYL BUMPER GUARD, 24"x24" WALL GUARDS, COMPLETE WITH PAUL HOOK AND WALL BRACE.	
WC1	WATER CLOSET	ZURN	Z5551-K	FLOOR MOUNT FLUSH TANK NON-FREEZE	VITREOUS CHINA	A.D.A. PRESSURE ASSIST ED SIPHON JET BURRIED, SELF DRAINING				LEVER		ZURN Z81016-CR-887 0-12-PC								1.6 GALLON FLUSH. ZURN Z5955SS-EL-AM-STS SEAT. TOILET FLANGE BOLTS SHALL BE DOUBLE NUTTED.	
YH1	YARD HYDRANT	ZURN	Z1396XL-AC		CAST IRON W/ BRONZE/STAINLESS STEEL COMPONENTS					LOCKING LEVER										ANTI-SIPHON, AUTOMATIC DRAINING, NON-FREEZE. PROVIDE WITH LOCK AND INCLUDE OPERATING KEY. ENSURE BURY DEPTH IS BELOW FROST LINE.	

SCHEDULE OF ELECTRIC WATER HEATERS

NOTES:
 1. FUEL SOURCE SHALL BE ELECTRIC.
 2. PROVIDE ASME RATED RELIEF VALVE FOR WATER HEATER.
 3. PROVIDE ALL REQUIRED CLEARANCES AROUND WATER HEATER. CONTRACTOR SHALL VERIFY WATER HEATER WILL FIT IN ALLOTTED SPACE.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STATE FORMS, SUBMITTALS, FEES, PERMITS, ETC. AS REQUIRED FOR WATER HEATER INSTALLATION.
 5. BASIS OF DESIGN IS INDICATED IN SCHEDULE, REFER TO SPECIFICATIONS FOR OTHER APPROVED MANUFACTURERS. EQUIPMENT MUST MEET ALL THE PERFORMANCE REQUIREMENTS INDICATED

MARK	MANUFACTURER	MODEL No.	TANK CAPACITY (GALLONS)	RECOVERY RATE @ 100 °F TEMPERATURE RISE (GPH)	HOT WATER TEMP OUT	KW INPUT	ELECTRICAL			REMARKS
							VOLTAGE	PHASE	FREQUENCY	
DWH1	AO SMITH	DSE-20	20	25	140 °F	6	208 V	3	60 Hz	

SCHEDULE OF DRAINS AND CLEANOUTS

MARK	FIXTURE	MANUFACTURER	MODEL No.	TYPE	MATERIAL	STYLE	REMARKS
FCO	FLOOR CLEANOUT	ZURN	ZN1400-VP-SP	NO HUB OR NEO-LOCK	CAST IRON / NICKEL BRONZE TOP	SCORATED ROUND TOP	VANDAL RESISTANT SECURED TOP, PROVIDE NICKEL BRONZE TOP IN FINISHED AREAS, BRONZE TOP IN UNFINISHED.
FD1	FLOOR DRAIN	ZURN	Z-507	NO HUB- OR NEO-LOCK	CAST IRON / CAST IRON TOP	7" ROUND	PROVIDE 4" DEEP SEAL P-TRAP WITH CLEANOUT.

SCHEDULE OF TEMPERATURE MIXING VALVES

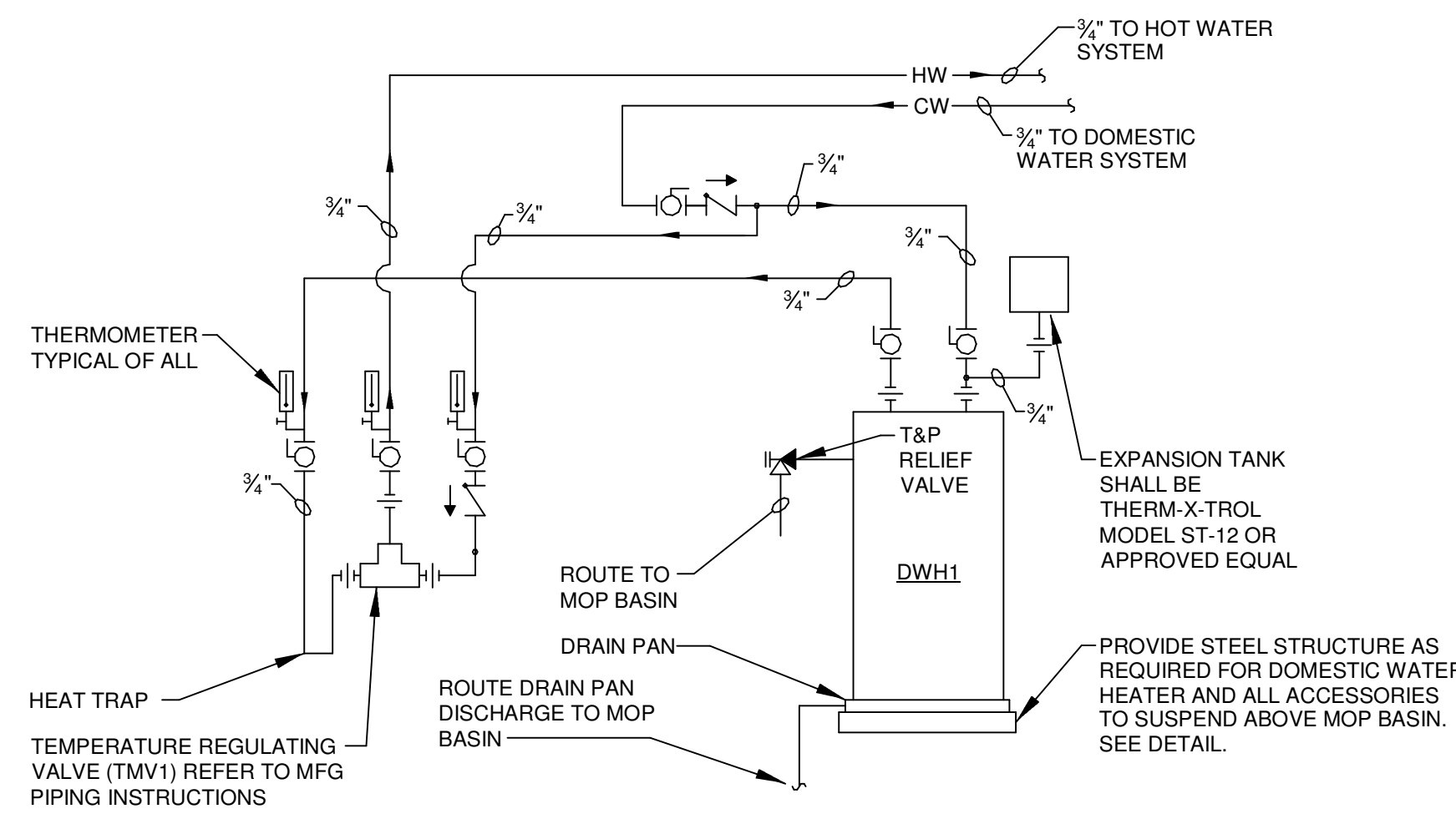
MARK	MANUFACTURER	MODEL No.	SERVICE	FLOW RATE @ 20 PSI PRESSURE DROP	MINIMUM FLOW	FINISH	REMARKS
TMV1	LEONARD	LV-20-E-LF-IT	HOT WATER	14 GPM	1 GPM	ROUGH BRONZE	INSTALL AND CONNECT PER MANUFACTURERS RECOMMENDATIONS. SET HOT WATER OUTPUT @ 120°F MAX. PROVIDE W/ 140°F HW & CW INLET SUPPLY STRAINERS.

PLUMBING LEGEND

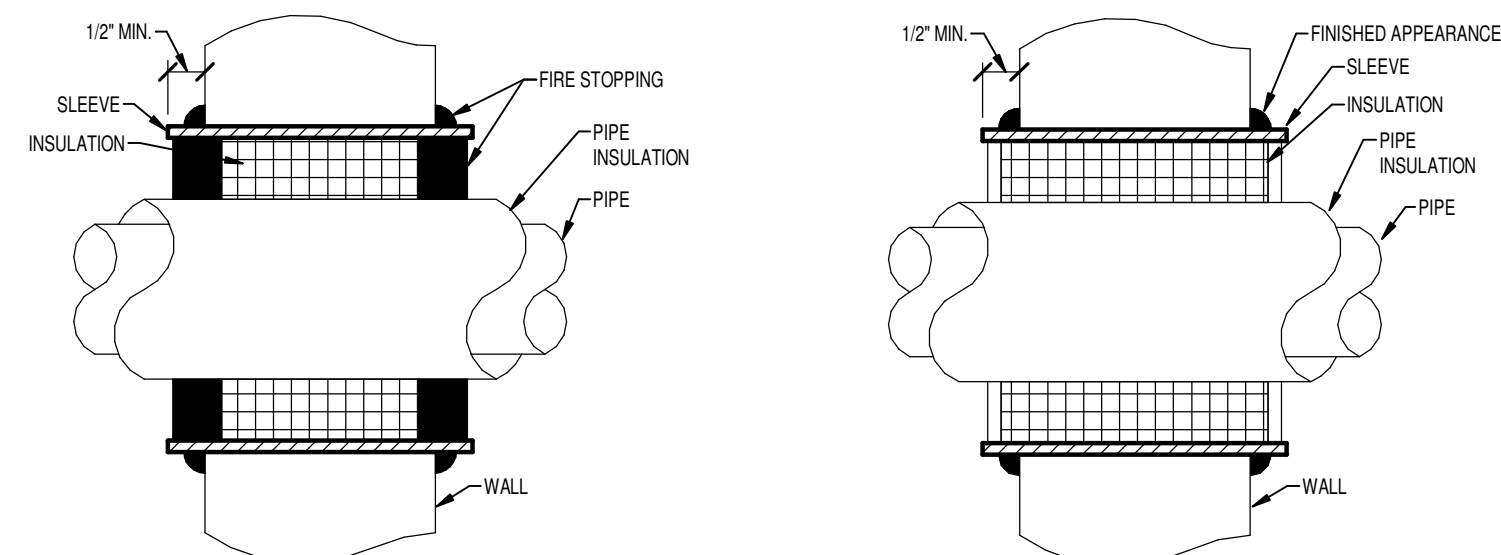
ABBREVIATION	3D	2D
CW		
DWH		
EX		
FCO		
FD		
HB		
HW		
L		
MB		
RPBP		
TMV		
V		
VTR		
W		
WC		
YCO		
YH		

GENERAL NOTES:

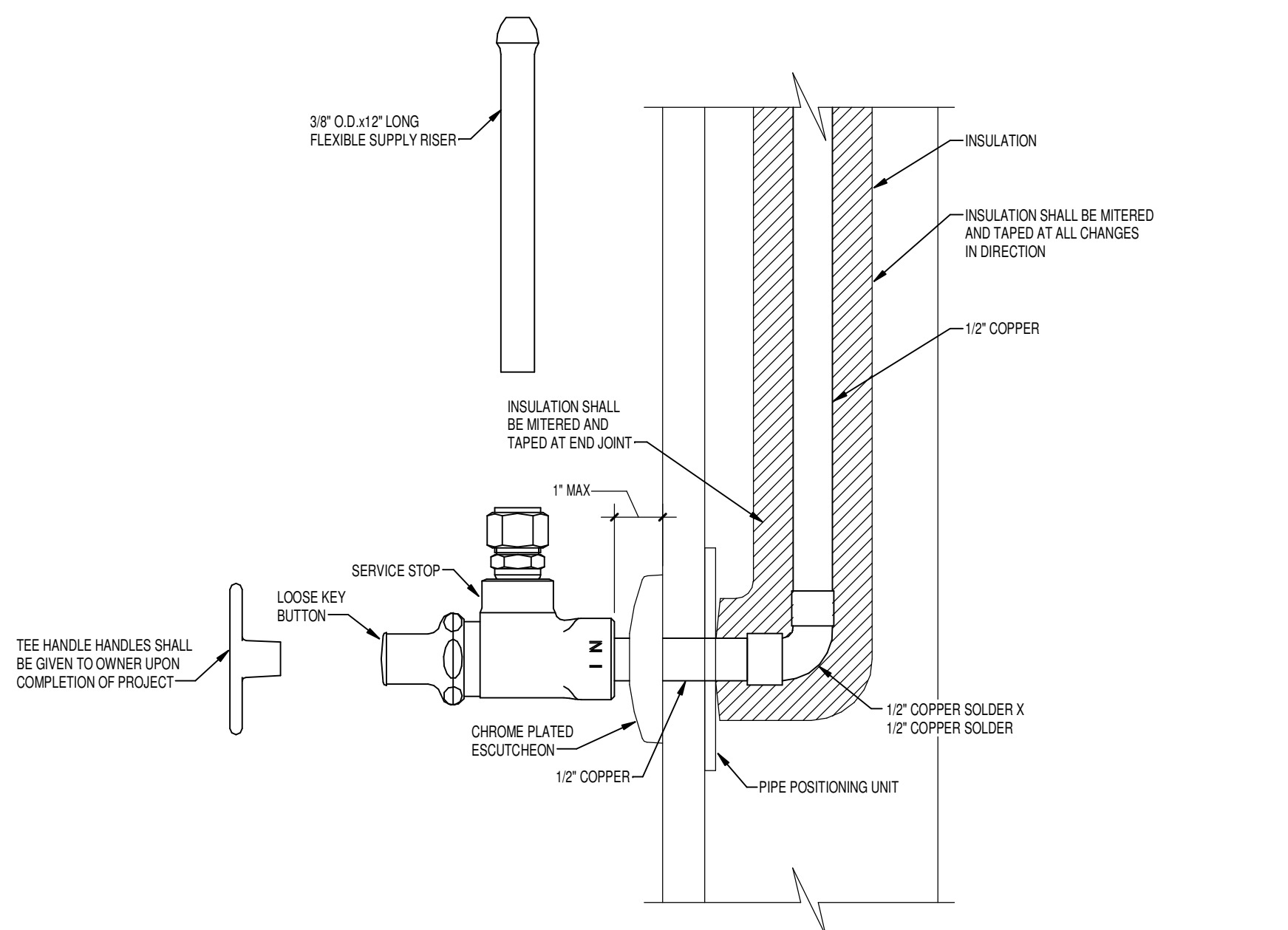
- APPLIES TO ALL SHEETS
- CONDITIONS SHOWN ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE AND SUBJECT TO VERIFICATION. VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES TO BE CROSSED OR CONNECTED. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NO EXPENSE TO OWNER. IMMEDIATELY NOTIFY ARCHITECT AND ENGINEER OF CONDITION IN CONFLICT WITH THE DETAILS/PLANS.
 - EXISTING INFORMATION SHOWN ON FLOOR PLANS IS FROM ORIGINAL RECORD DRAWINGS AND FIELD INVESTIGATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS IN THE FIELD BEFORE COMMENCEMENT OF WORK. THE CONTRACTOR IS REQUIRED TO REPORT TO THE ARCHITECT DISCREPANCIES OR INCONSISTENCIES BETWEEN THE SPECIFIED DESIGN AND EXISTING CONDITIONS FOR CLARIFICATION PRIOR TO COMMENCEMENT OF THE WORK. ABSOLUTE ACCURACY OF THE DRAWINGS CANNOT BE GUARANTEED. WHILE EVERY EFFORT HAS BEEN MADE TO COORDINATE THE LOCATION OF EXISTING EQUIPMENT, PIPING, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE EXACT REQUIREMENTS GOVERNED BY ACTUAL JOB CONDITIONS.
 - PLUMBING SYSTEMS SHALL BE DESIGNED AND INSTALLED PER LOCAL PLUMBING CODE.
 - REPORT TO ARCHITECT IN WRITING, CONDITIONS WHICH WILL PREVENT PROPER PROVISION OF THIS WORK.
 - THE DRAWINGS SHOWING THE LOCATIONS OF PLUMBING EQUIPMENT, PIPING, ETC. ARE DIAGRAMMATIC. CONTRACTOR SHALL PROVIDE ALL OFFSETS, ADJUSTMENTS ETC. JOB CONDITIONS MAY NOT PERMIT THEIR INSTALLATION AT THE LOCATIONS SHOWN. THE PLUMBING DRAWINGS SHOW THE GENERAL ARRANGEMENT OF EQUIPMENT, PIPING, DEVICES, ETC. & SHALL BE FOLLOWED AS CLOSE AS POSSIBLE.
 - LOCATE VALVES FOR SERVICE ACCESSIBILITY. PROVIDE VALVE TAGS & PLASTIC LAMINATE IDENTIFICATION ON GELING FOR ALL NEW AND EXISTING VALVES AND EQUIPMENT LOCATED WITHIN THE CONSTRUCTION LIMITS AS INDICATED IN THE SPECIFICATIONS.
 - SEAL ALL OPENINGS NEW & EXISTING AROUND PLUMBING & UTILITY LINES PENETRATING FIRE WALLS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION OF FIRE WALLS & ARCHITECTURAL SPECS FOR MATERIAL & INSTALLATION.
 - CONTRACTOR SHALL COORDINATE WITH ARCHITECT ALL CONSTRUCTION PHASING AS IT APPLIES TO DEMOLITION & NEW WORK.



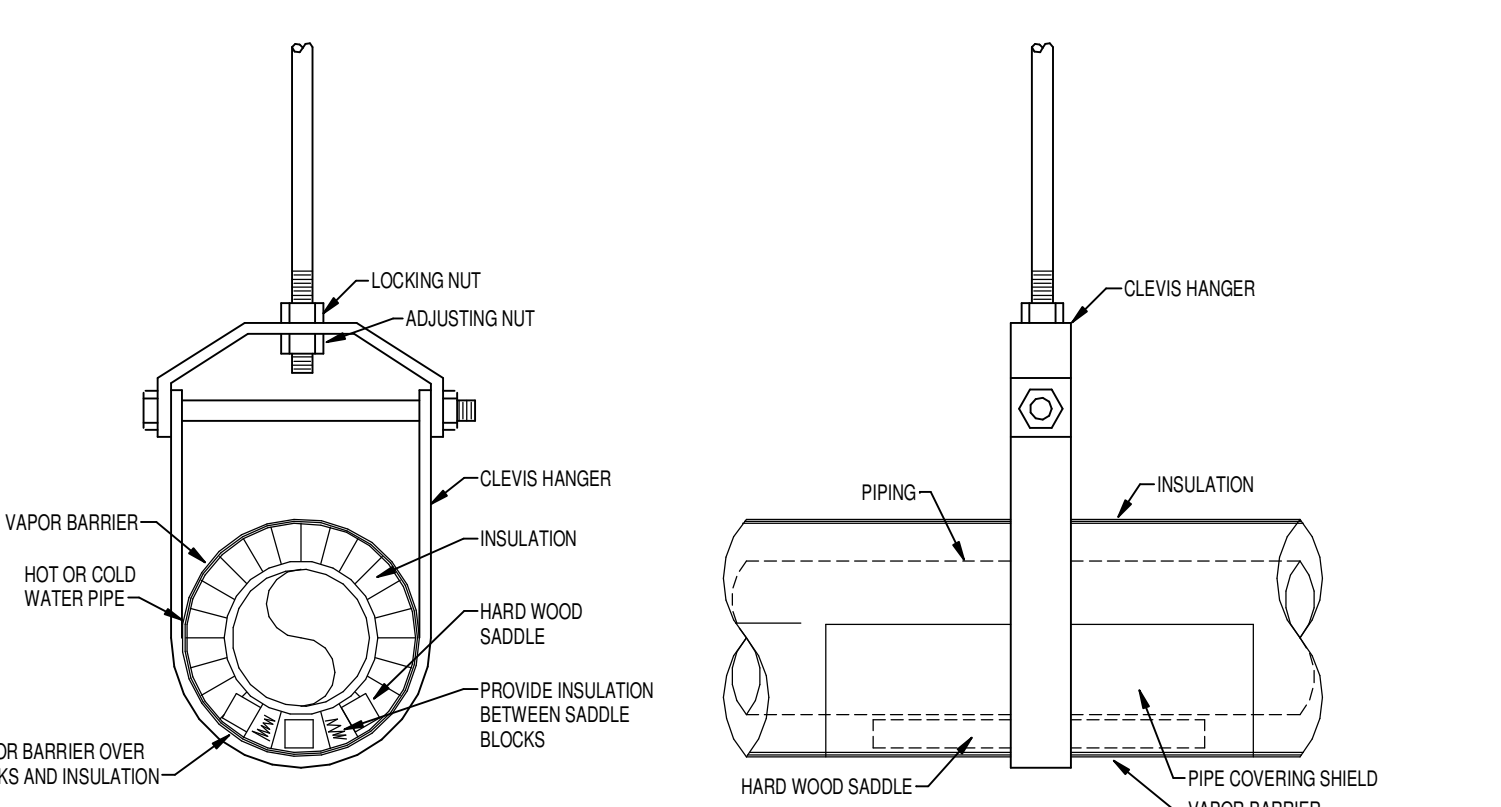
1. DOMESTIC WATER HEATER PIPING DIAGRAM
 SCALE: NONE



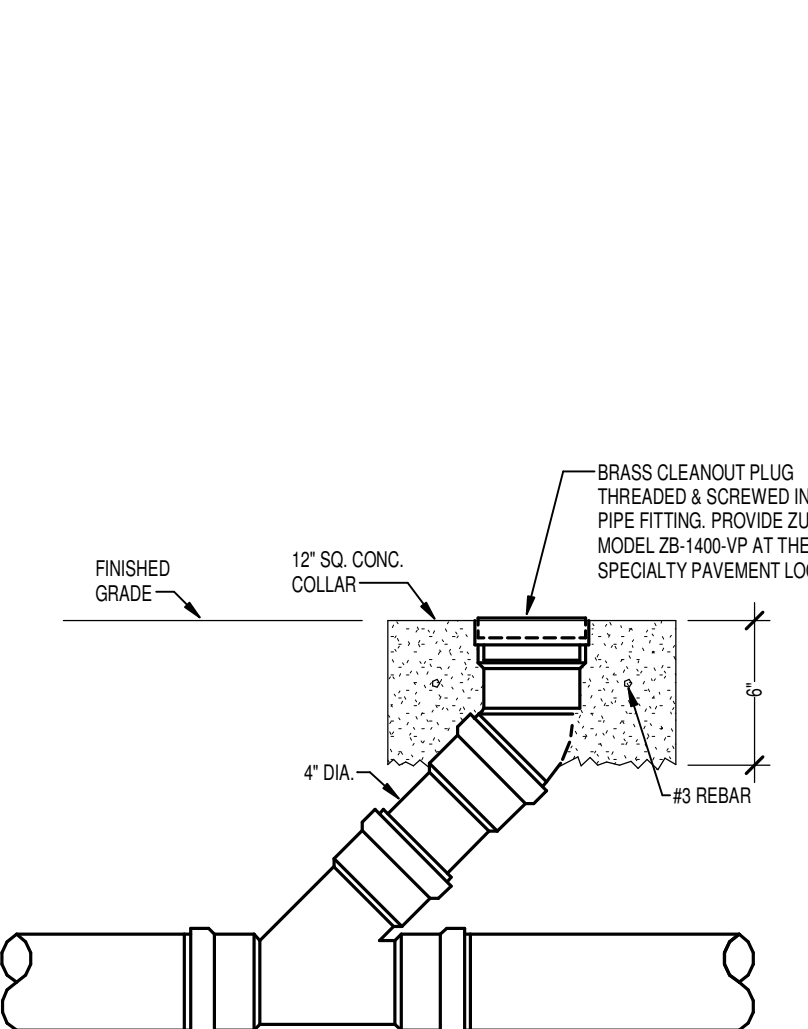
2. INTERIOR PIPE SLEEVE DETAIL
 SCALE: NONE



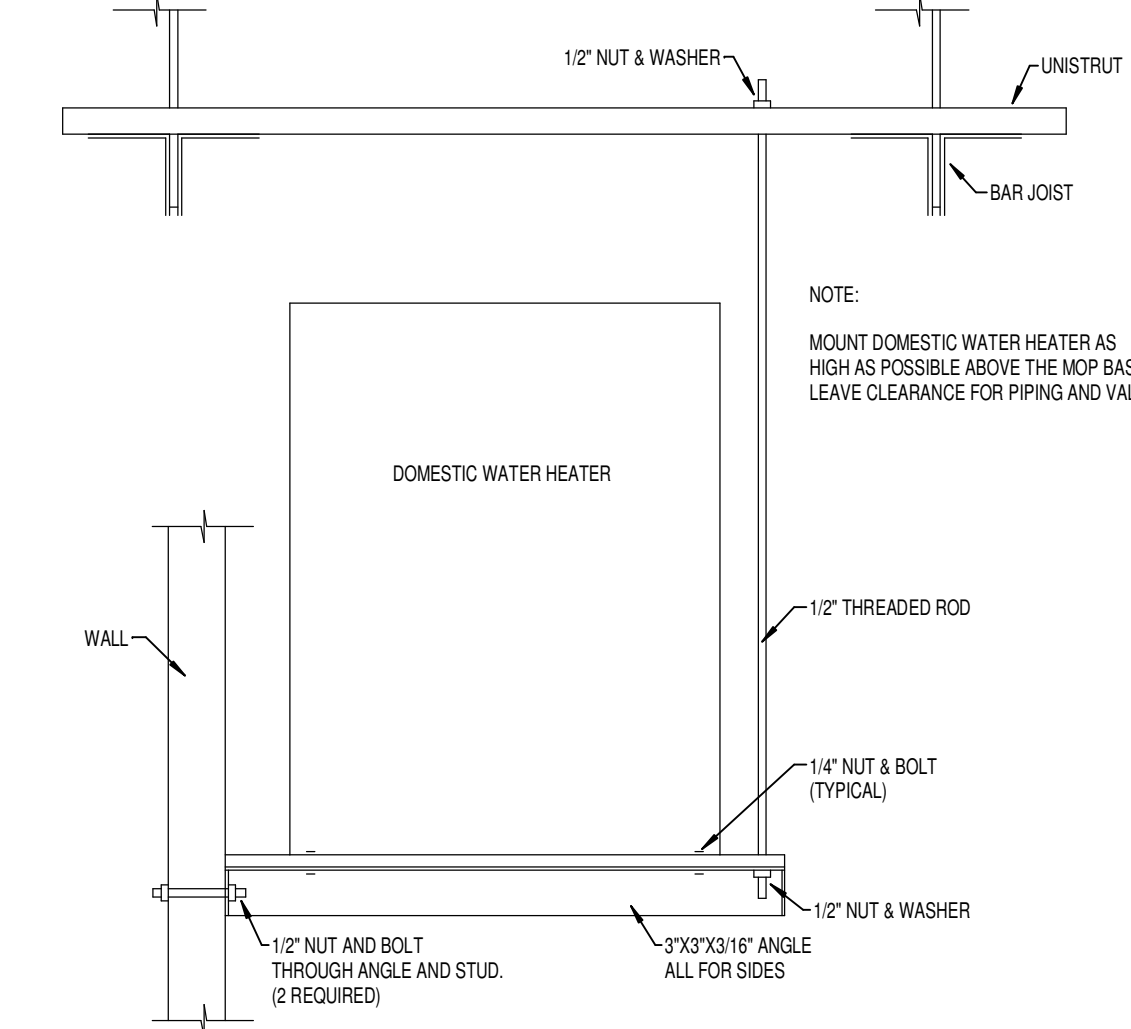
3. TYPICAL SERVICE STOP INSTALLATION
 SCALE: NONE



4. TYPICAL INSULATED PIPE HANGER DETAIL
 SCALE: NONE



5. TYPICAL YARD CLEANOUT
 SCALE: NONE



7. DOMESTIC WATER HEATER STAND
 SCALE: NONE

RELEASE / REVISION

No.	Date	Description



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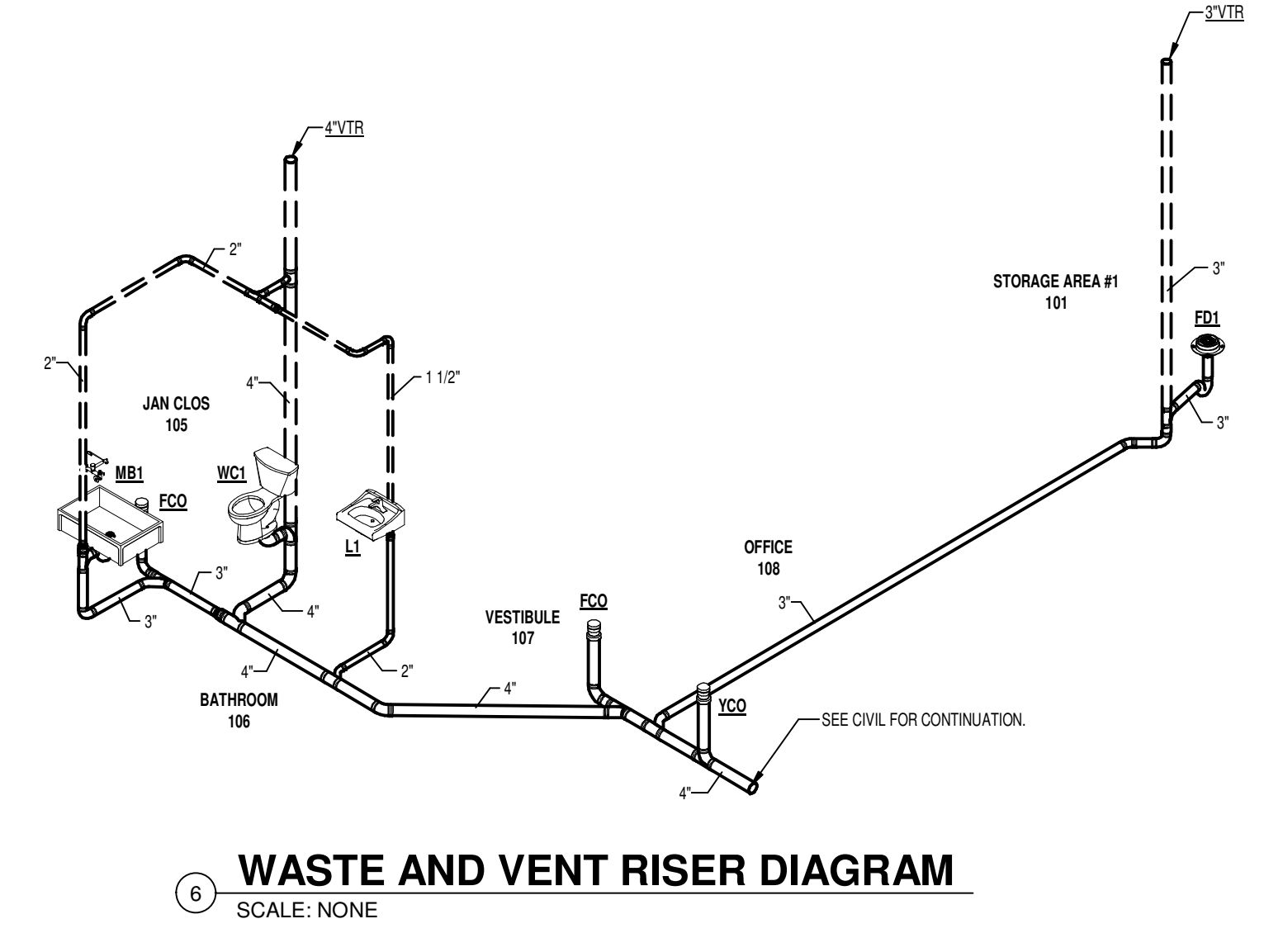
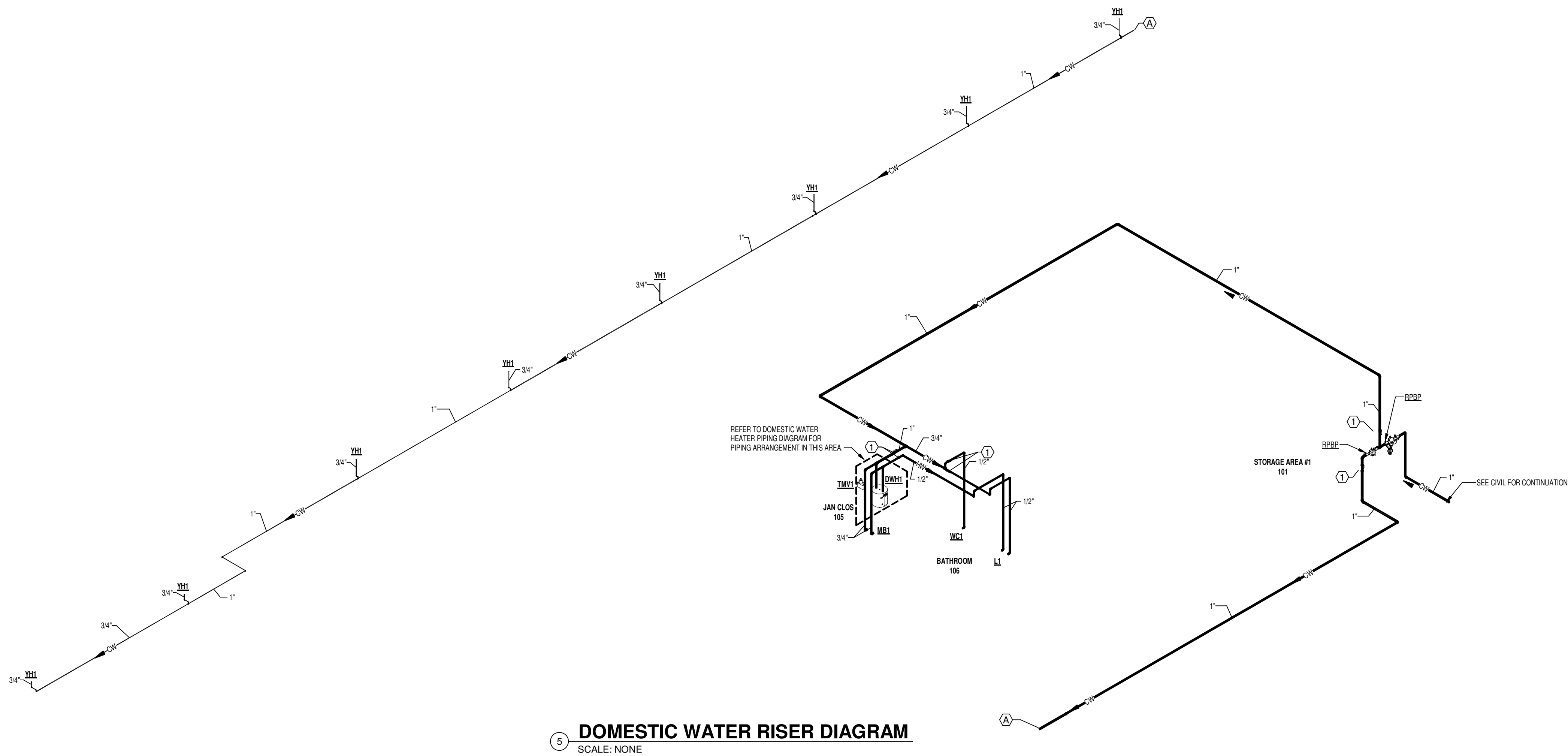
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Project
 NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

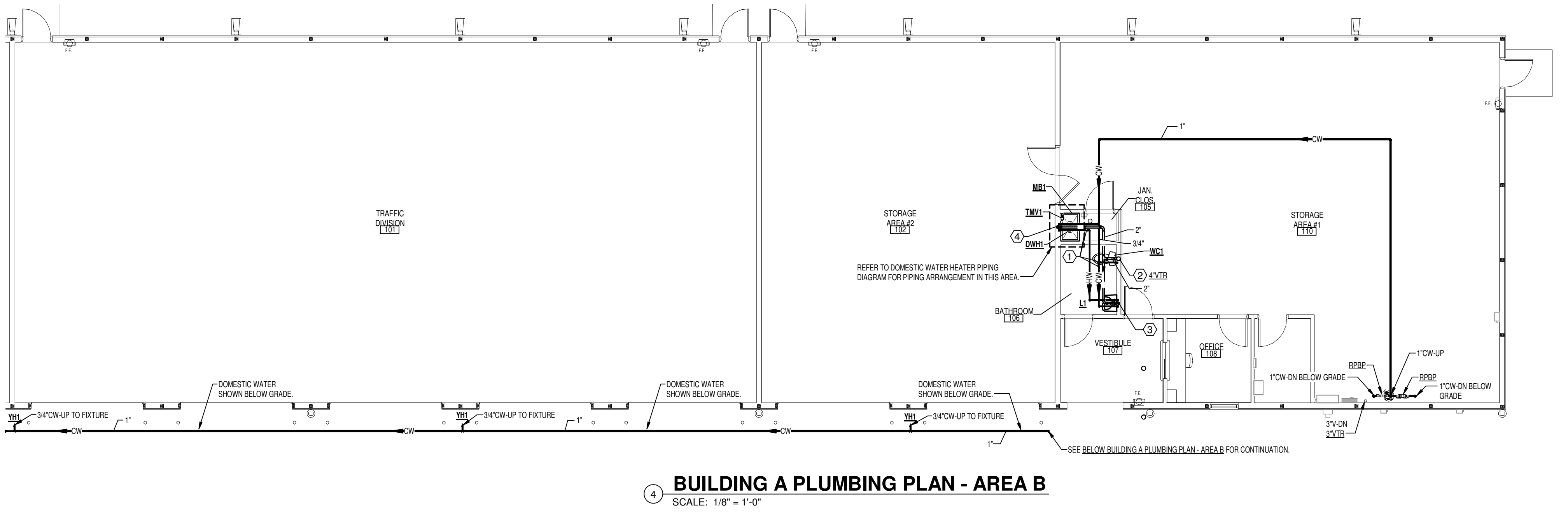
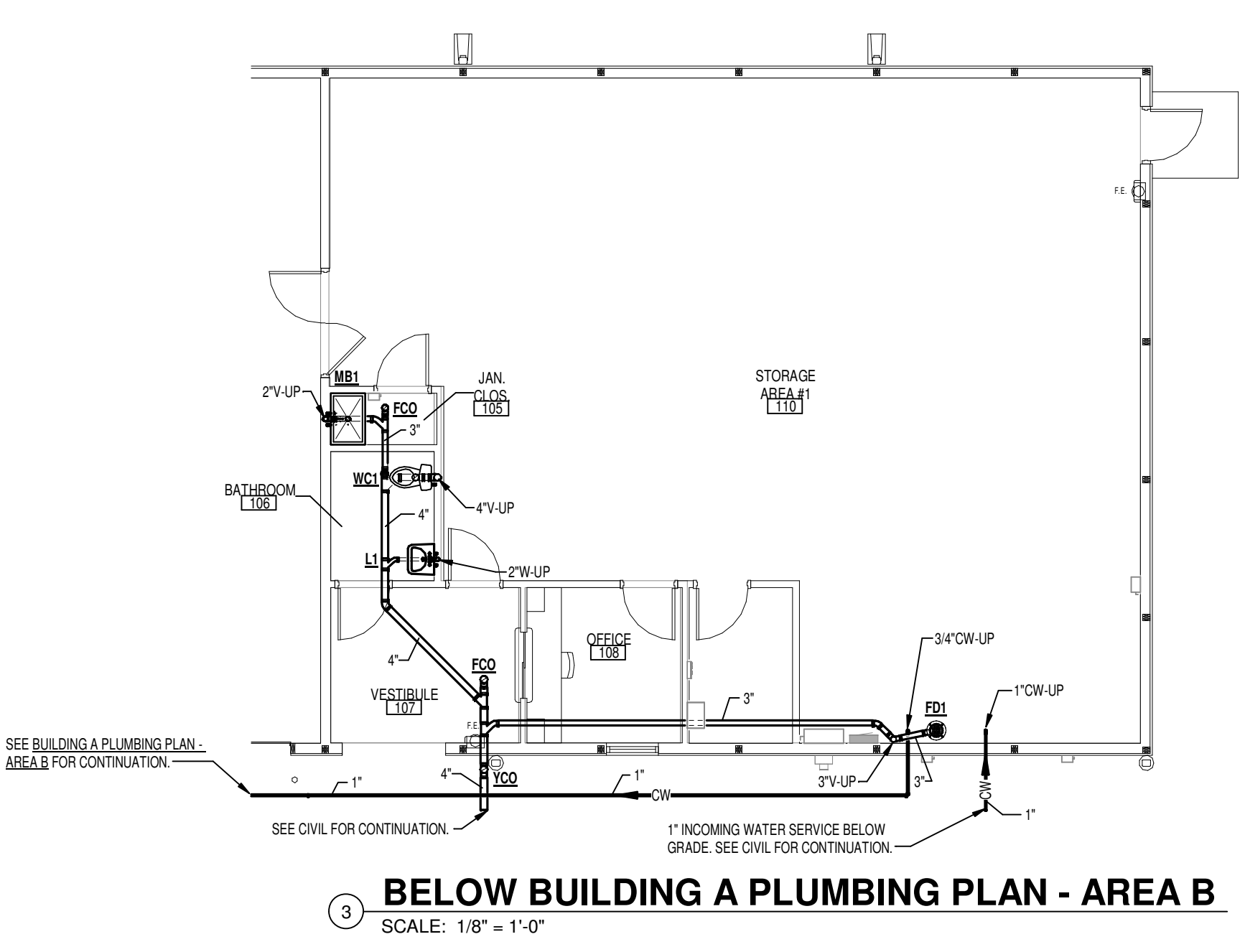
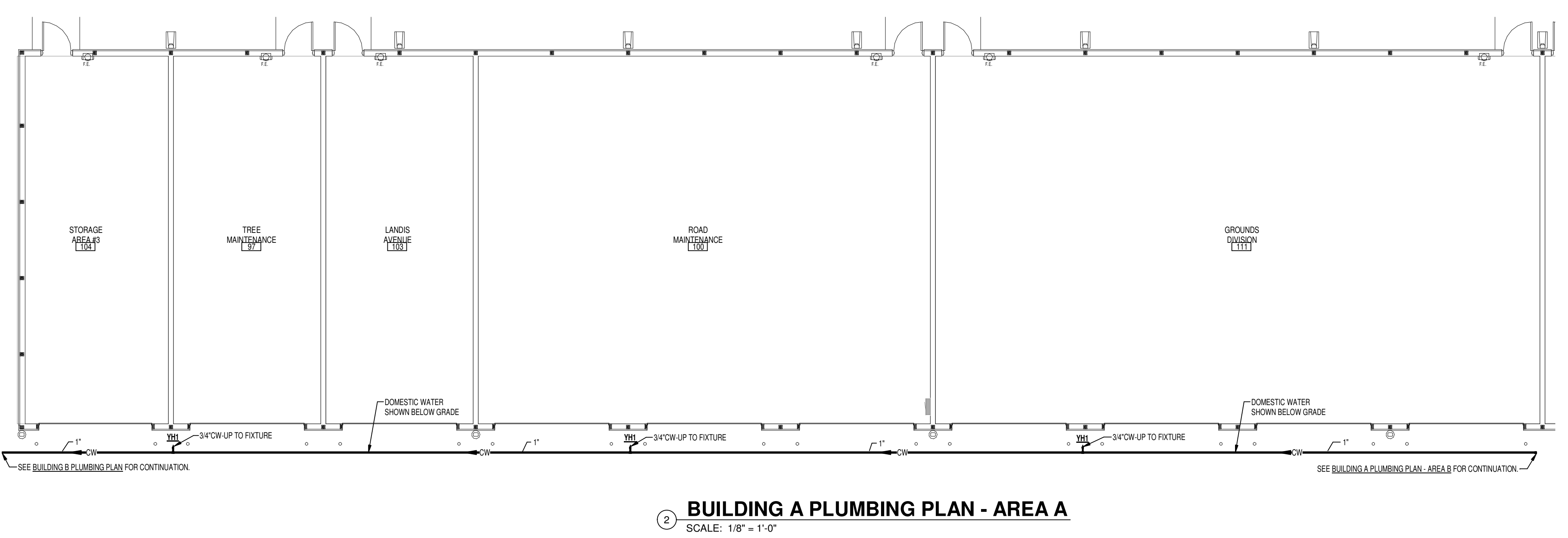
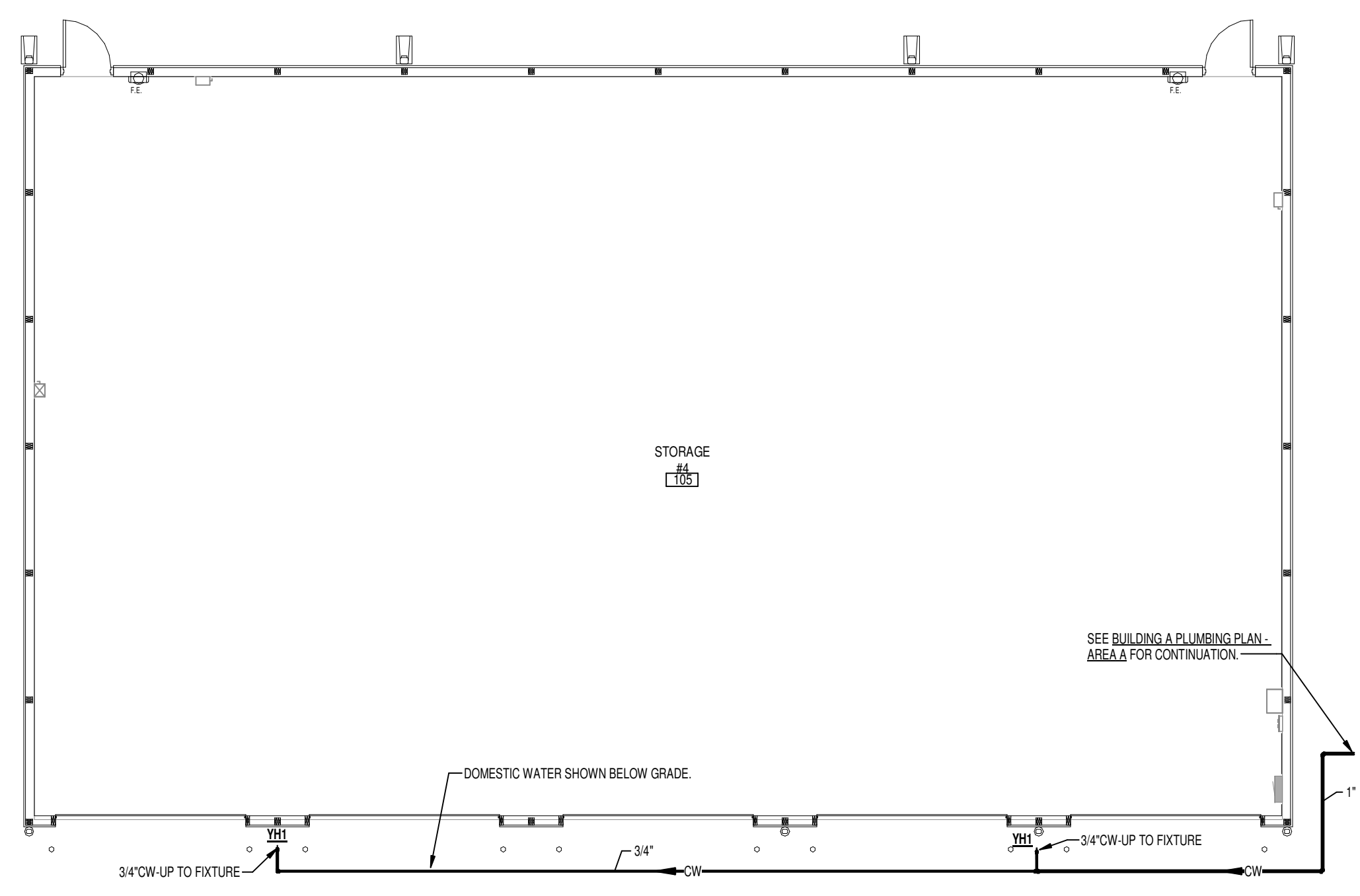
Drawing
 PLUMBING LEGEND AND SCHEDULES

Scale	Job	Sheet
As indicated	23.089	P0.1
Drawn	Date	
MRS	10/08/2024	

RELEASE / REVISION		
No.	Date	Description



- KEYED NOTES:**
- ISOLATION VALVE(S).
 - 4" VENT, 1/2" COLD WATER DOWN TO FIXTURE.
 - 1 1/2" VENT, 1/2" HOT AND COLD WATER DOWN TO FIXTURE.
 - 2" VENT, 3/4" HOT AND COLD WATER DOWN TO FIXTURE.
 - REFER TO DOMESTIC WATER HEATER PIPING DIAGRAM FOR PIPING ARRANGEMENT IN THIS AREA.



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Project
NEW POLE BARN FOR CITY OF VINELAND PUBLIC WORKS

Drawing		
Scale	Job	Sheet
As indicated	23.089	P1.0
Drawn	Date	
MRS	10/08/2024	